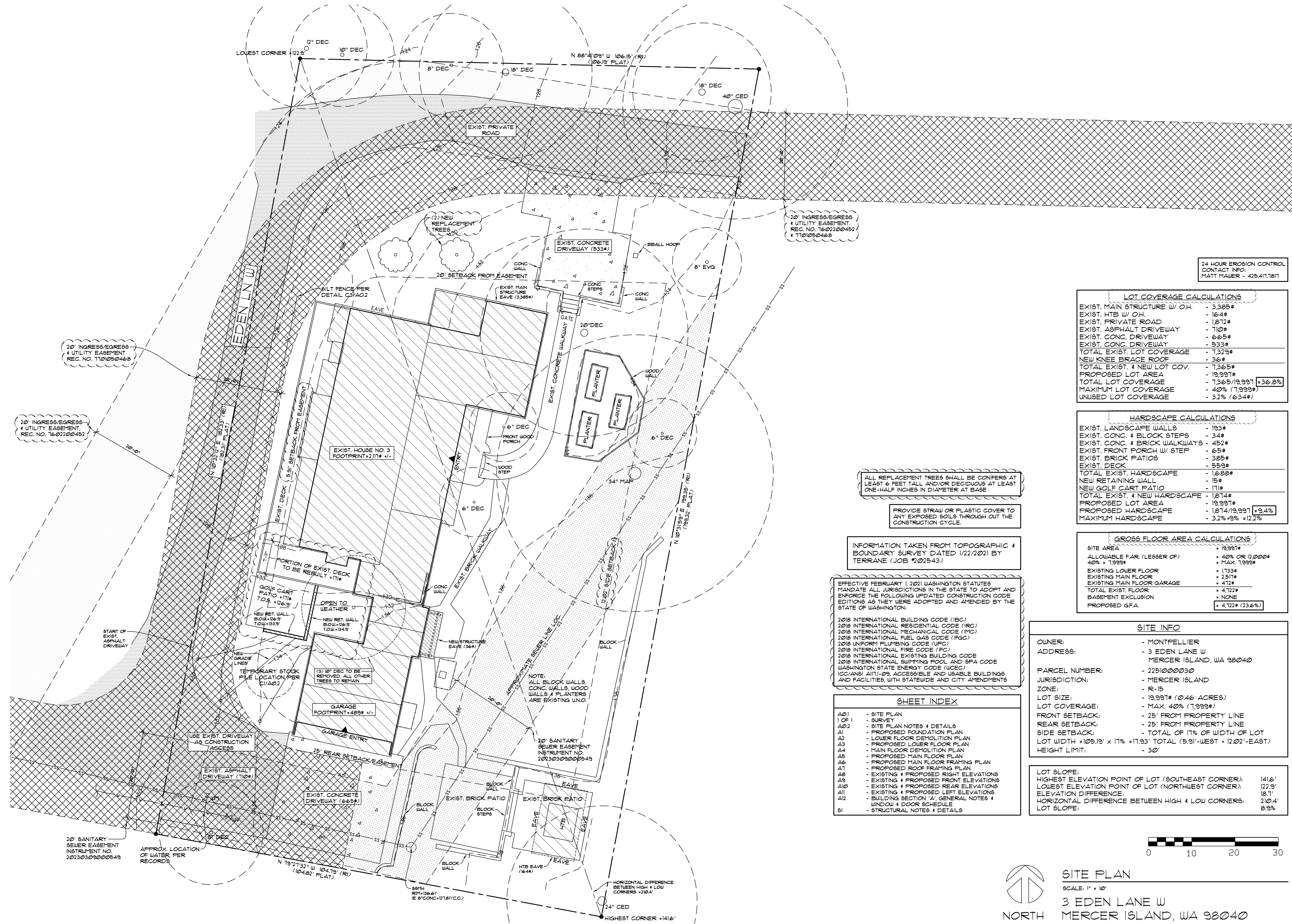


**MONTPELLIER ADDITION**  
 3 EDEN LANE W  
 MERCER ISLAND, WA 98040

JOB NO: 20-026  
 DATE: 4/14/23  
 DRWN. BY: MM  
 REVISED: 9/27/23

SHEET NO.  
**A0.1**



24 HOUR EROSION CONTROL  
CONTACT INFO:  
MATT MAWER - 425.417.1811

LOT COVERAGE CALCULATIONS	
EXIST. MAIN STRUCTURE W/ O.H.	- 3,385#
EXIST. HTE W/ O.H.	- 184#
EXIST. PRIVATE ROAD	- 1,812#
EXIST. ASPHALT DRIVEWAY	- 110#
EXIST. CONC. DRIVEWAY	- 665#
EXIST. CONC. DRIVEWAY	- 533#
TOTAL EXIST. LOT COVERAGE	- 7,329#
NEW KNEE BRACE ROOF	- 36#
TOTAL EXIST. & NEW LOT COV.	- 7,365#
PROPOSED LOT AREA	- 19,991#
TOTAL LOT COVERAGE	- 7,365/19,991 = 36.8%
MAXIMUM LOT COVERAGE	- 40% (7,999#)
UNUSED LOT COVERAGE	- 3.2% (634#)

HARDSCAPE CALCULATIONS	
EXIST. LANDSCAPE WALLS	- 193#
EXIST. CONC. & BLOCK STEPS	- 34#
EXIST. CONC. & BRICK WALKWAYS	- 453#
EXIST. FRONT PORCH W/ STEP	- 65#
EXIST. BRICK PATIOS	- 385#
EXIST. DECK	- 559#
TOTAL EXIST. HARDSCAPE	- 1,680#
NEW RETAINING WALL	- 15#
NEW GOLF CART PATIO	- 171#
TOTAL EXIST. & NEW HARDSCAPE	- 1,874#
PROPOSED LOT AREA	- 19,991#
PROPOSED HARDSCAPE	- 1,874/19,991 = 9.4%
MAXIMUM HARDSCAPE	- 3.2% + 9% = 12.2%

GROSS FLOOR AREA CALCULATIONS	
SITE AREA	- 19,991#
ALLOWABLE FAR (LESSER OF)	- 40% OR 1,999#
40% * 1,999#	- MAX. 1,999#
EXISTING LOWER FLOOR	- 1,733#
EXISTING MAIN FLOOR	- 2,511#
EXISTING MAIN FLOOR GARAGE	- 472#
TOTAL EXIST. FLOOR	- 4,722#
BASEMENT EXCLUSION	- NONE
PROPOSED G.F.A.	- 4,722# (23.6%)

ALL REPLACEMENT TREES SHALL BE CONIFERS AT LEAST 6 FEET TALL AND/OR DECIDUOUS AT LEAST ONE-HALF INCHES IN DIAMETER AT BASE

PROVIDE STRAW OR PLASTIC COVER TO ANY EXPOSED SOILS THROUGH OUT THE CONSTRUCTION CYCLE.

INFORMATION TAKEN FROM TOPOGRAPHIC & BOUNDARY SURVEY DATED 1/22/2021 BY TERRANE (JOB #202543)

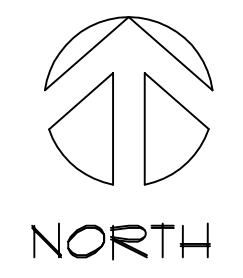
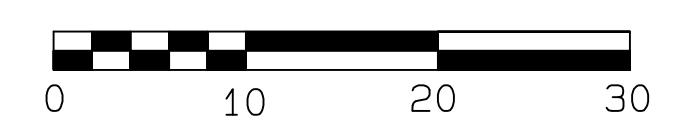
EFFECTIVE FEBRUARY 1, 2021 WASHINGTON STATUTES MANDATE ALL JURISDICTIONS IN THE STATE TO ADOPT AND ENFORCE THE FOLLOWING UPDATED CONSTRUCTION CODE EDITIONS AS THEY WERE ADOPTED AND AMENDED BY THE STATE OF WASHINGTON:

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 UNIFORM PLUMBING CODE (UPC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- WASHINGTON STATE ENERGY CODE (WSEC)
- ICC/ANSI A117.1-09, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND CITY AMENDMENTS

SHEET INDEX	
A01	- SITE PLAN
TOP 1	- SURVEY
A02	- SITE PLAN NOTES & DETAILS
A1	- PROPOSED FOUNDATION PLAN
A2	- LOWER FLOOR DEMOLITION PLAN
A3	- PROPOSED LOWER FLOOR PLAN
A4	- MAIN FLOOR DEMOLITION PLAN
A5	- PROPOSED MAIN FLOOR PLAN
A6	- PROPOSED MAIN FLOOR FRAMING PLAN
A7	- PROPOSED ROOF FRAMING PLAN
A8	- EXISTING & PROPOSED RIGHT ELEVATIONS
A9	- EXISTING & PROPOSED FRONT ELEVATIONS
A10	- EXISTING & PROPOSED REAR ELEVATIONS
A11	- EXISTING & PROPOSED LEFT ELEVATIONS
A12	- BUILDING SECTION 'A', GENERAL NOTES & WINDOW & DOOR SCHEDULE
S1	- STRUCTURAL NOTES & DETAILS

SITE INFO	
OWNER:	- MONTPELLIER
ADDRESS:	- 3 EDEN LANE W MERCER ISLAND, WA 98040
PARCEL NUMBER:	- 2251000030
JURISDICTION:	- MERCER ISLAND
ZONE:	- R-15
LOT SIZE:	- 19,991# (0.46 ACRES)
LOT COVERAGE:	- MAX. 40% (7,999#)
FRONT SETBACK:	- 25' FROM PROPERTY LINE
REAR SETBACK:	- 25' FROM PROPERTY LINE
SIDE SETBACK:	- TOTAL OF 17% OF WIDTH OF LOT
LOT WIDTH = 105.19' x 17% = 17.88'	TOTAL (5.91'-WEST + 12.02'-EAST)
HEIGHT LIMIT:	- 30'

LOT SLOPE:	
HIGHEST ELEVATION POINT OF LOT (SOUTHEAST CORNER):	141.6'
LOWEST ELEVATION POINT OF LOT (NORTHWEST CORNER):	122.3'
ELEVATION DIFFERENCE:	19.3'
HORIZONTAL DIFFERENCE BETWEEN HIGH & LOW CORNERS:	210.4'
LOT SLOPE:	9.2%



**SITE PLAN**  
 SCALE: 1" = 10'  
 3 EDEN LANE W  
 MERCER ISLAND, WA 98040

# TOPOGRAPHIC & BOUNDARY SURVEY

## LEGAL DESCRIPTION

LOT 3, EDEN LANE WEST, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 101 OF PLATS, PAGES 64 AND 65, IN KING COUNTY, WASHINGTON;

TOGETHER WITH AN EASEMENT FOR ROAD AND UTILITIES AS DELINEATED ON THE FACE OF SAID PLAT;

EXCEPT ANY PORTION LYING WITHIN SAID LOT 3.

TOGETHER WITH AN UNDIVIDED 1/7 INTEREST IN RECREATIONAL WATERFRONT.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

## BASIS OF BEARINGS

N 88°41'09" W BETWEEN FOUND PROPERTY CORNERS ALONG THE NORTH LINE OF THE SUBJECT PARCEL PER R1

## REFERENCES

R1. RECORD OF SURVEY, VOL. 125, PG. 53, RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM

NAV088 PER CITY OF MERCER ISLAND BENCHMARK #1995 (D.B. ID #46981)  
ELEV: 178.273

## SURVEYOR'S NOTES

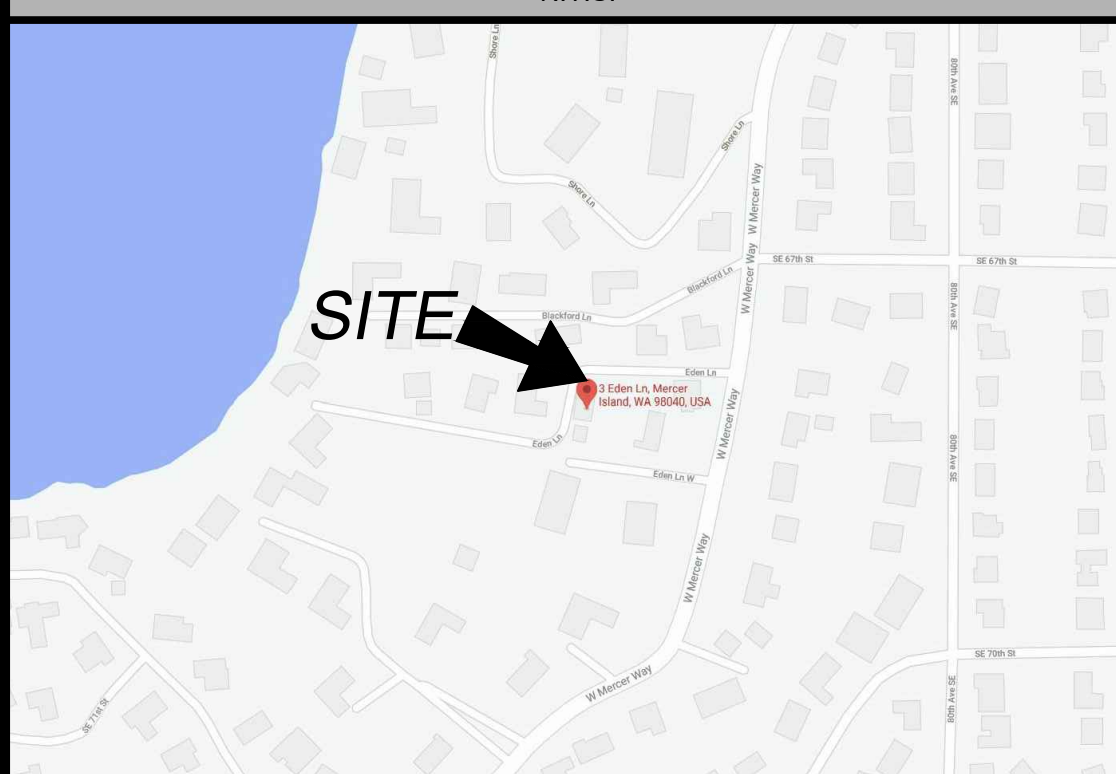
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 2251000-0030
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 19,997 ±S.F. (0.46 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN CHICAGO TITLE COMPANY OF WASHINGTON, COMMITMENT NO. 0192574-ETU, WITH AN EFFECTIVE DATE OF OCTOBER 2, 2020 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

## LEGEND

	ASPHALT SURFACE		HEAT EXCHANGER
	BUILDING		INLET (TYPE 1)
	CENTERLINE ROW		PAVER SURFACE
	CONCRETE SURFACE		POST/BBALL HOOP
	RETAINING WALL		POWER METER
	DECK		POWER POLE
	FENCE LINE (CHAIN LINK)		POWER TRANSFORMER
	FENCE LINE (WOOD)		SEWER LINE
	FLAGSTONE SURFACE		SEWER MANHOLE
	GRAVEL SURFACE		STORM DRAIN LINE
	GENERATOR		TELEPHONE SENTRY
	SEWER EASEMENT AREA		TREE (AS NOTED)
	LANDSCAPE EASEMENT AREA		WATER LINE
	INGRESS/EGRESS EASEMENT AREA		WATER METER
	REBAR / IRON PIPE AS NOTED (FOUND)		WATER VALVE

## VICINITY MAP

N.T.S.



## SCHEDULE B ITEMS

1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

PURPOSE: ROAD AND UTILITIES  
RECORDING DATE: DECEMBER 31, 1957  
RECORDING NO.: 4861912  
AFFECTS: THE WESTERLY AND NORTHERLY PORTION OF LOT 3 (PLOTTED ESMT DESCRIBED AS "PARCEL D")

2. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

IN FAVOR OF: MERCER ISLAND SEWER DISTRICT  
PURPOSE: SEWER PIPELINE WITH NECESSARY APPURTENANCES  
RECORDING DATE: OCTOBER 28, 1964  
RECORDING NO.: 5804682  
AFFECTS: THE EASTERLY PORTION OF LOT 3 (PARTIALLY PLOTTED - SEE NOTE)

3. RESTRICTIONS CONTAINED IN INSTRUMENT, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE: OCTOBER 12, 1972  
RECORDING NO.: 7210120043  
(BLANKET IN NATURE)

4. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON MERCER ISLAND SHORT PLAT NUMBER BORTLES.

RECORDING NO: 7602200452  
(PLOTTED)

5. COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE: APRIL 20, 1976  
RECORDING NO.: 7604200277  
(BLANKET IN NATURE)

6. PROTECTIVE MAINTENANCE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF

RECORDING DATE: APRIL 20, 1976  
RECORDING NO.: 7604200416  
(BLANKET IN NATURE)

AMENDMENT OF SAID PROTECTIVE MAINTENANCE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF

RECORDING DATE: JULY 10, 1978  
RECORDING NO.: 7807100810  
(BLANKET IN NATURE)

7. COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT

RECORDING DATE: APRIL 20, 1976  
RECORDING NO.: 7604200483  
(BLANKET IN NATURE)

8. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON EDEN LANE WEST:

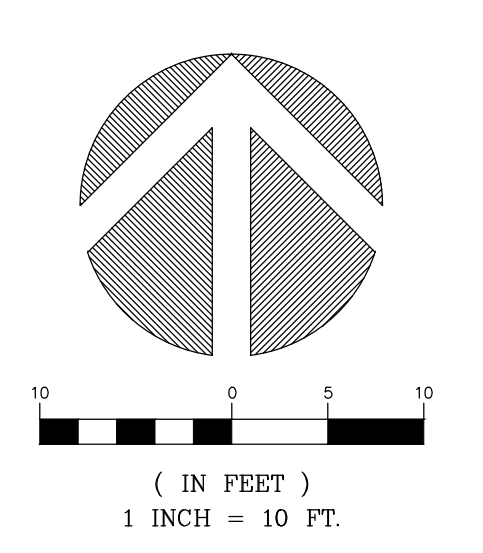
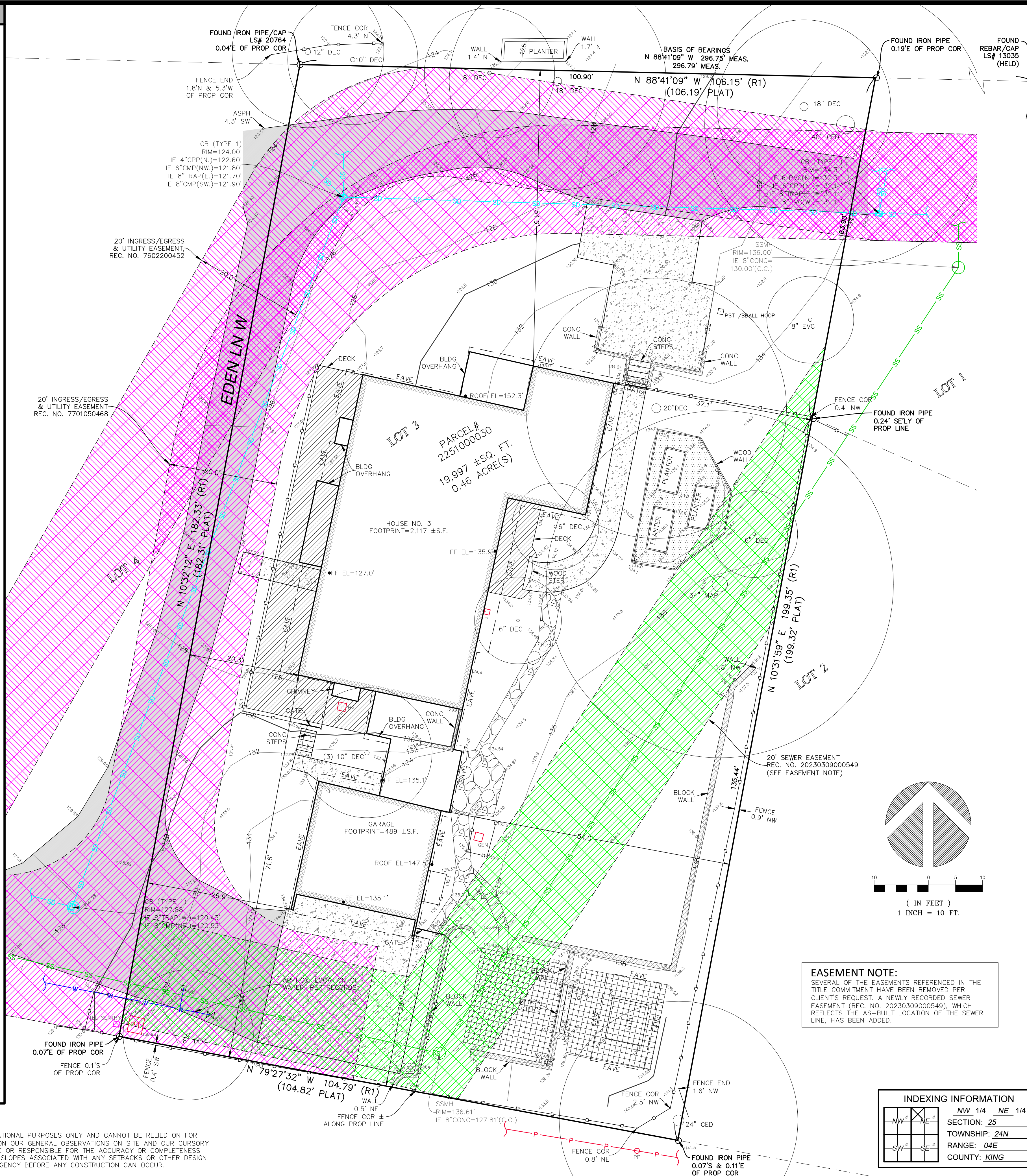
RECORDING NO: 7701050468  
(PLOTTED)

9. ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY,

RECORDING DATE: OCTOBER 14, 1998  
RECORDING NO.: 9810149009  
(CURRENT CONDITIONS SHOWN)

## STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



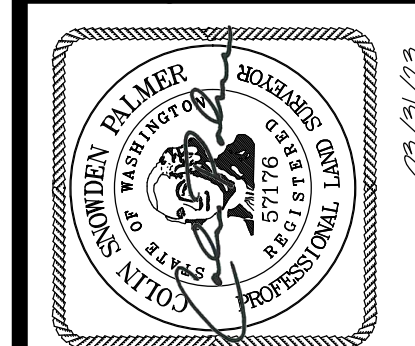
**EASEMENT NOTE:**  
SEVERAL OF THE EASEMENTS REFERENCED IN THE TITLE COMMITMENT HAVE BEEN REMOVED PER CLIENT'S REQUEST. A NEWLY RECORDED SEWER EASEMENT (REC. NO. 20230309000549), WHICH REFLECTS THE AS-BUILT LOCATION OF THE SEWER LINE, HAS BEEN ADDED.

INDEXING INFORMATION	
NW 1/4	NE 1/4
SECTION: 25	TOWNSHIP: 24N
RANGE: 04E	COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY  
PARCEL NO. 2251000030

MONTPELLIER RESIDENCE

3 EDEN LN W  
MERCER ISLAND, WA 98040



**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

JOB NUMBER:	202543
DATE:	01/22/21
DRAFTED BY:	IDV-DSS
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'
REVISION HISTORY	
10/25/21	SEWER INFO
03/28/23	SEWER ESMTS REV'D
03/30/23	REMOVED ESMTS
SHEET NUMBER	
1 OF 1	

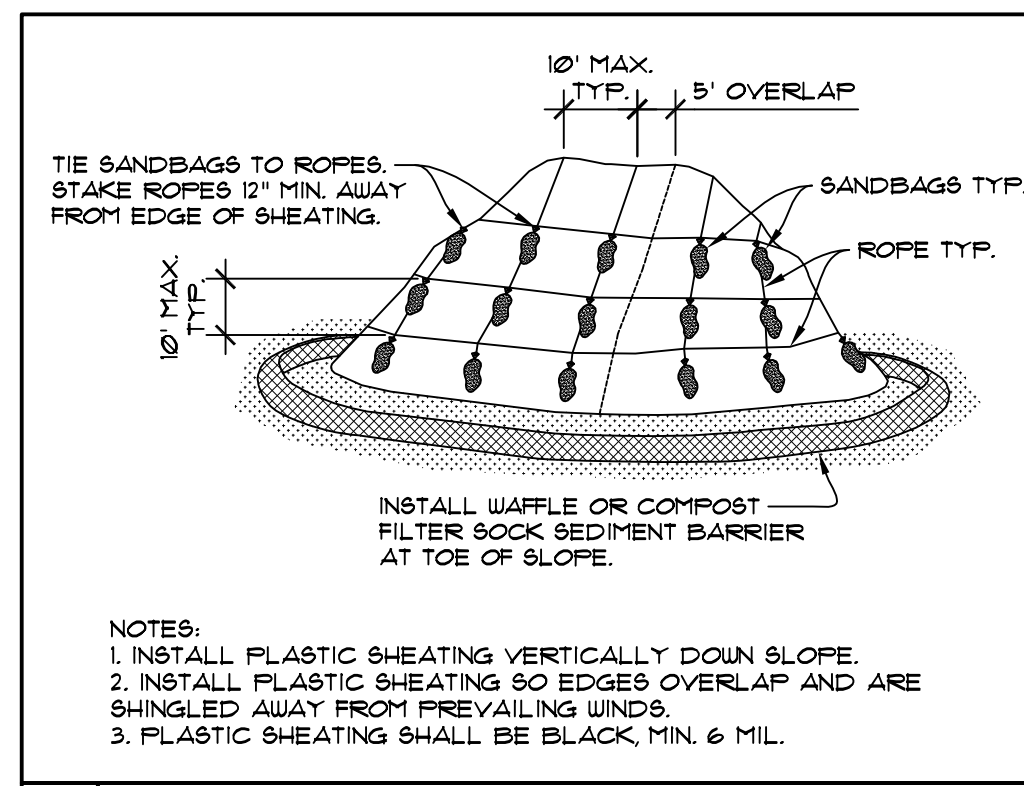
measure success

**EROSION/SEDIMENTATION CONTROL - PLAN NOTES**

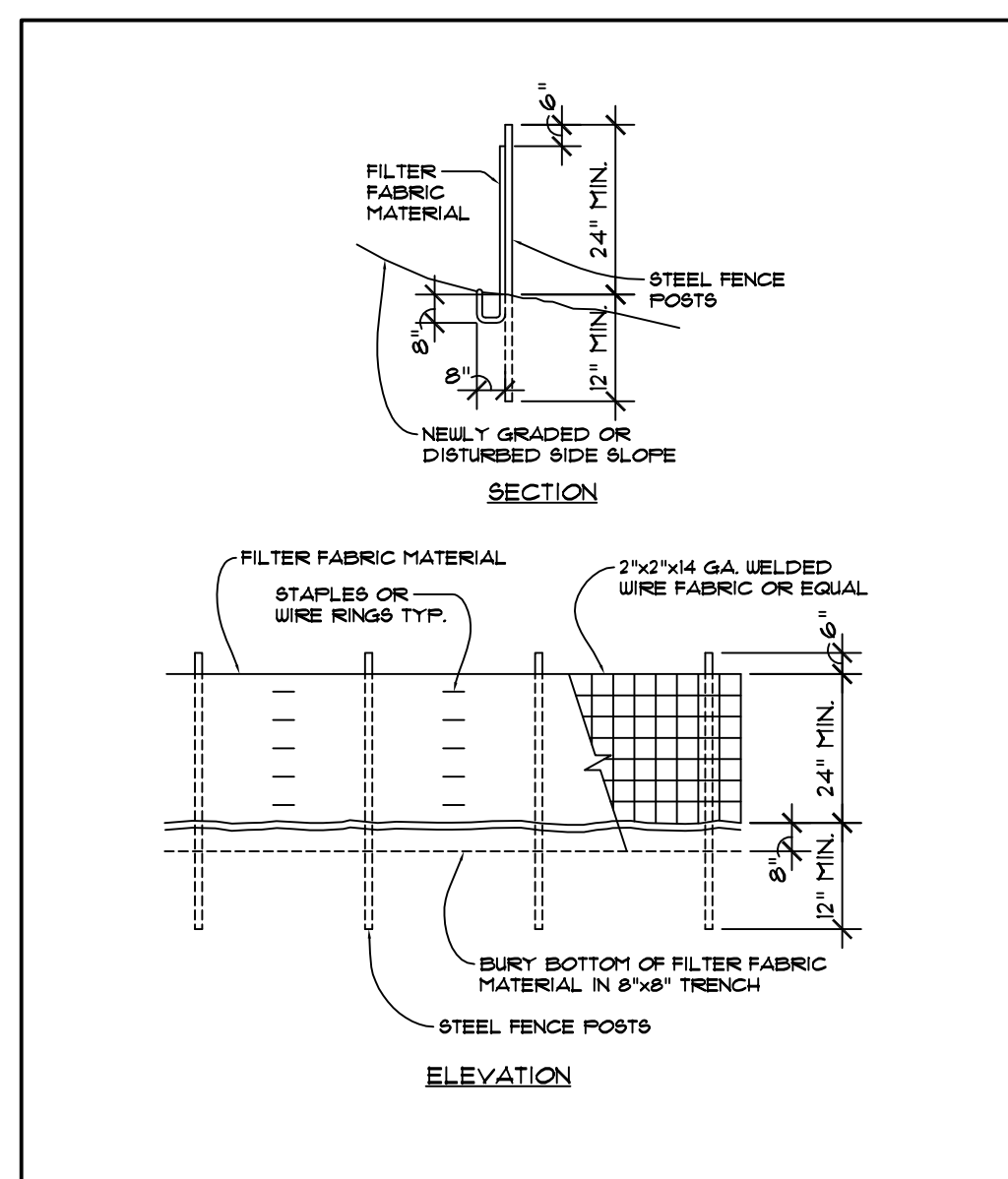
1. THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
  - A. CONDUCT PRE-CONSTRUCTION MEETING.
  - B. FLAG OR FENCE CLEARING LIMITS.
  - C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
  - D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
  - E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
  - F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
  - G. CONSTRUCT SEDIMENT POND(S) AND TRAPS.
  - H. GRADE AND STABILIZE CONSTRUCTION ROADS.
  - I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
  - J. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
  - K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY/COUNTY TESC MINIMUM REQUIREMENTS.
  - L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
  - M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
  - N. SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
  - O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS CLEAN AND FREE OF CONTAMINANTS AT ALL TIMES AND FOR PREVENTING AN ILLICIT DISCHARGE (KWC 1552) INTO THE MUNICIPAL STORM DRAIN SYSTEM. IF YOUR CONSTRUCTION PROJECT CAUSES AN ILLICIT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM, THE CITY/COUNTY STORM MAINTENANCE DIVISION WILL BE CALLED TO CLEAN THE PUBLIC STORM SYSTEM, AND OTHER AFFECTED PUBLIC INFRASTRUCTURE. THE CONTRACTOR(S), PROPERTY OWNER AND ANY OTHER RESPONSIBLE PARTY MAY BE CHARGED ALL COSTS ASSOCIATED WITH THE CLEAN-UP AND MAY ALSO BE ASSESSED MONETARY PENALTIES. THE MINIMUM PENALTY IS \$500. A FINE FOR A REPEAT VIOLATION SHALL BE A MULTIPLIED BY THE NUMBER OF VIOLATIONS. A FINE MAY BE REDUCED OR WAIVED FOR PERSONS WHO IMMEDIATELY SELF-REPORT VIOLATION TO THE CITY/COUNTY. A FINAL INSPECTION OF YOUR PROJECT WILL NOT BE GRANTED UNTIL ALL COSTS ASSOCIATED WITH THE CLEAN-UP AND PENALTIES, ARE PAID TO THE CITY/COUNTY.
3. CONSTRUCTION DEWATERING DISCHARGES SHALL ALWAYS MEET WATER QUALITY GUIDELINES LISTED IN COK POLICY E-1. SPECIFICALLY, DISCHARGES TO THE PUBLIC STORMWATER DRAINAGE SYSTEM MUST BE BELOW 25 NTU, AND NOT CONSIDERED AN ILLICIT DISCHARGE. TEMPORARY DISCHARGES TO SANITARY SEWER REQUIRE PRIOR AUTHORIZATION AND PERMIT AND NOTIFICATION TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR.
4. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AND SPECIFICATIONS.
5. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
6. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
7. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
8. A COPY OF THE APPROVED ESC PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
9. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

10. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY/COUNTY INSPECTOR.
11. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SLOPES, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
12. THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAY/LIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEW OF THE ESC FACILITIES.
13. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
14. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES SUCH AS WASH PADS MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
15. ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
  - MAY 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
  - OCTOBER 1 TO APRIL 30 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
  - STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT.
16. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
17. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
18. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 6" HIGH TEMPORARY CONSTRUCTION FENCE (CHAIN LINK WITH PIER BLOCKS) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL THE PLANNING DEPARTMENT AUTHORIZES REMOVAL.
19. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6'-FT. HIGH CHAIN LINK FENCE ADJACENT TO THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
20. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH FLOUNDER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
21. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-100% PASSING#1 2"-4" ROCK/30%-40% PASSING#1 AND 1"-2" ROCK/10%-20% PASSING. RECYCLED CONCRETE SHALL NOT BE USED FOR EROSION PROTECTION, INCLUDING CONSTRUCTION ENTRANCE OR TEMPORARY STABILIZATION ELSEWHERE ON THE SITE.

22. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
23. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
24. AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED IMMEDIATELY FOLLOWING REMOVAL OF EROSION CONTROL BMP'S. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTEAM SYSTEM.
25. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
26. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
27. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF KIRKLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
29. ANY AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT (INCLUDING A 5-FOOT BUFFER) MUST BE SURROUNDED BY SILT FENCE PRIOR TO CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE TO PREVENT SOIL COMPACTION AND SILTATION BY CONSTRUCTION ACTIVITIES.
30. IF THE TEMPORARY CONSTRUCTION ENTRANCE OR ANY OTHER AREA WITH HEAVY VEHICLE LOADING IS LOCATED IN THE SAME AREA TO BE USED FOR INFILTRATION OR PERVIOUS PAVEMENT, 6" OF SEDIMENT BELOW THE GRAVEL SHALL BE REMOVED PRIOR TO INSTALLATION OF THE INFILTRATION FACILITY OR PERVIOUS PAVEMENT TO REMOVE FINES ACCUMULATED DURING CONSTRUCTION.
31. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE ADEQUATE PROTECTION FROM SEDIMENT. CATCH BASINS DIRECTLY DOWNSTEAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A STORM DRAIN PROTECTION INSERT OR EQUIVALENT.
32. IF A SEDIMENT POND IS NOT PROPOSED, A BAKER TANK OR OTHER TEMPORARY GROUND AND/OR SURFACE WATER STORAGE TANK MAY BE REQUIRED DURING CONSTRUCTION, DEPENDING ON WEATHER CONDITIONS.
33. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTEAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
34. RECYCLED CONCRETE SHALL NOT BE STOCKPILED ON SITE, UNLESS FULLY COVERED WITH NO POTENTIAL FOR RELEASE OF RUNOFF.



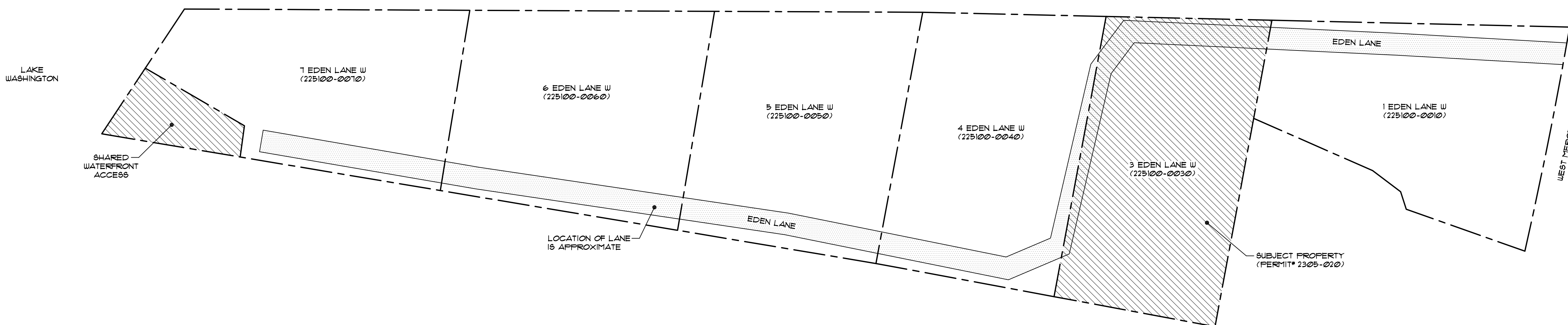
**C1 TEMPORARY STOCK PILE DETAIL**



**C3 SILT FENCE DETAIL**

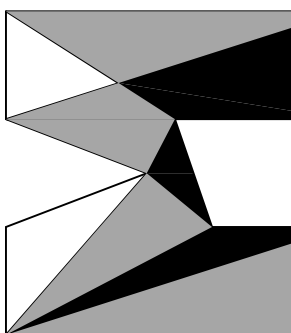
**SITE PLAN NOTES & DETAILS**

SCALE: N.T.S.



**ACCESS EASEMENT BENEFICIARY SITE DIAGRAM**

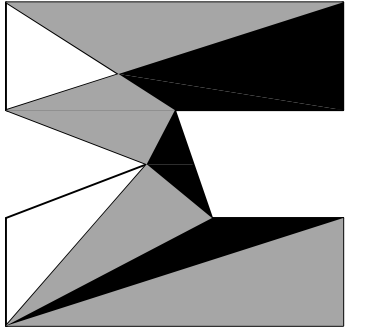
SCALE: N.T.S.



**MONTPELLIER ADDITION**  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
DRN. BY: MM  
REVISED: 9/27/23

SHEET NO.  
**A0.2**

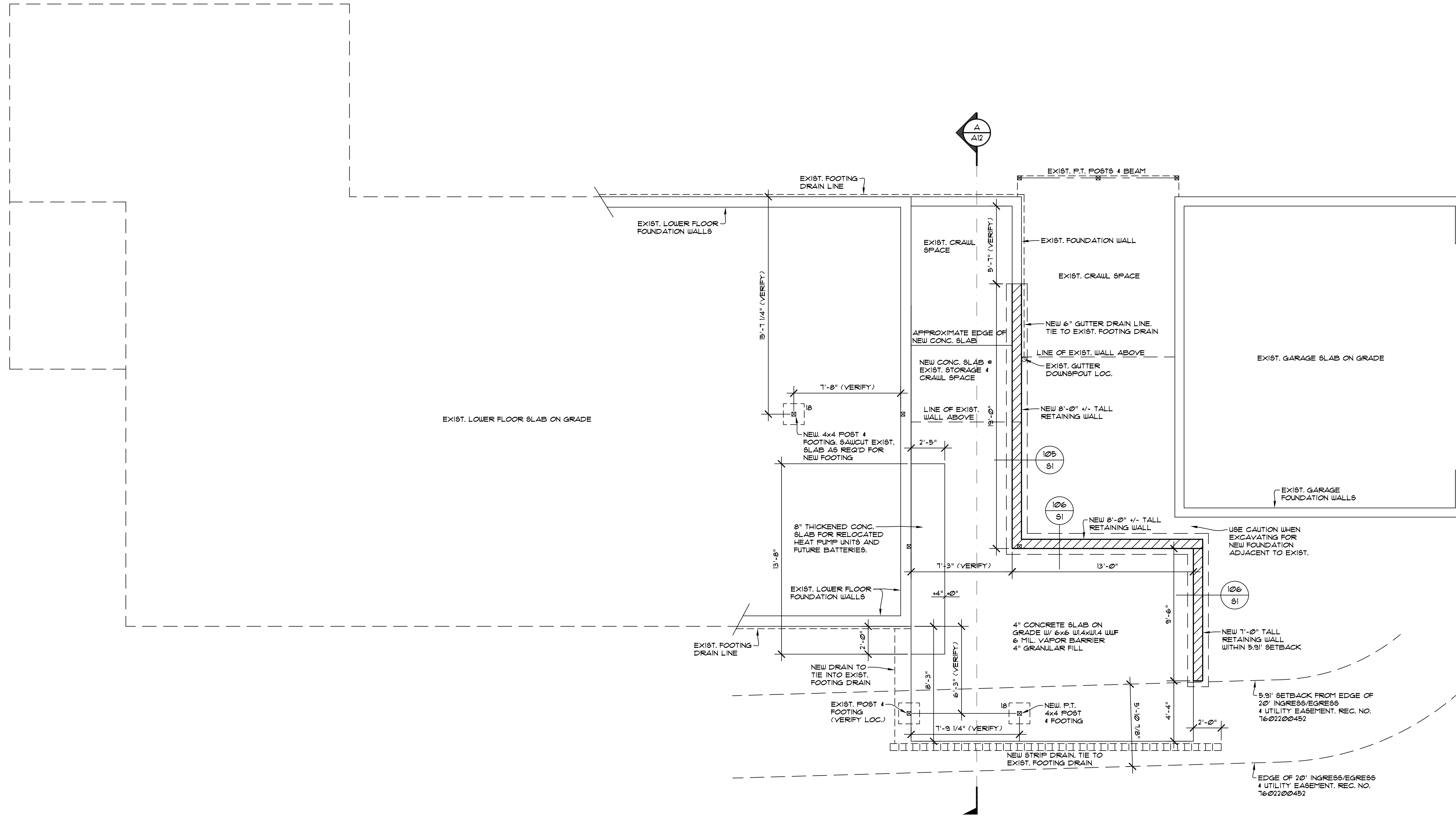


MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
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REVISED: 9/27/23

SHEET NO.

A1



NOTE:  
SEE SHEET S1 FOR FOOTING SCHEDULE

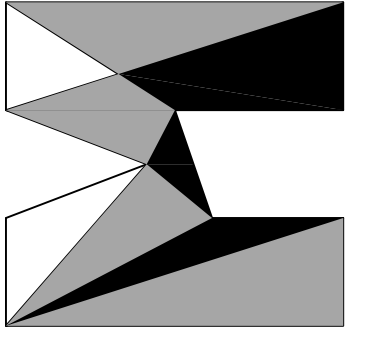
NOTE:  
ALL UNDERGROUND PLUMBING LOCATIONS TO BE FIELD VERIFIED PRIOR TO FOUNDATION INSTALLATION.

NOTE:  
CONTRACTOR SHALL VERIFY TO INSPECTOR ALL GUARDS AND RAILINGS SHALL BE CAPABLE OF RESISTING 200 LBS LOAD ON TOP RAIL, ACTING IN ANY DIRECTION AS REQUIRED BY IRC TABLE R301B.

WALL LEGEND	
	EXISTING WALLS TO REMAIN
	NEW FOUNDATION WALLS

PROPOSED FOUNDATION PLAN  
SCALE: 1/4" = 1' - 0"

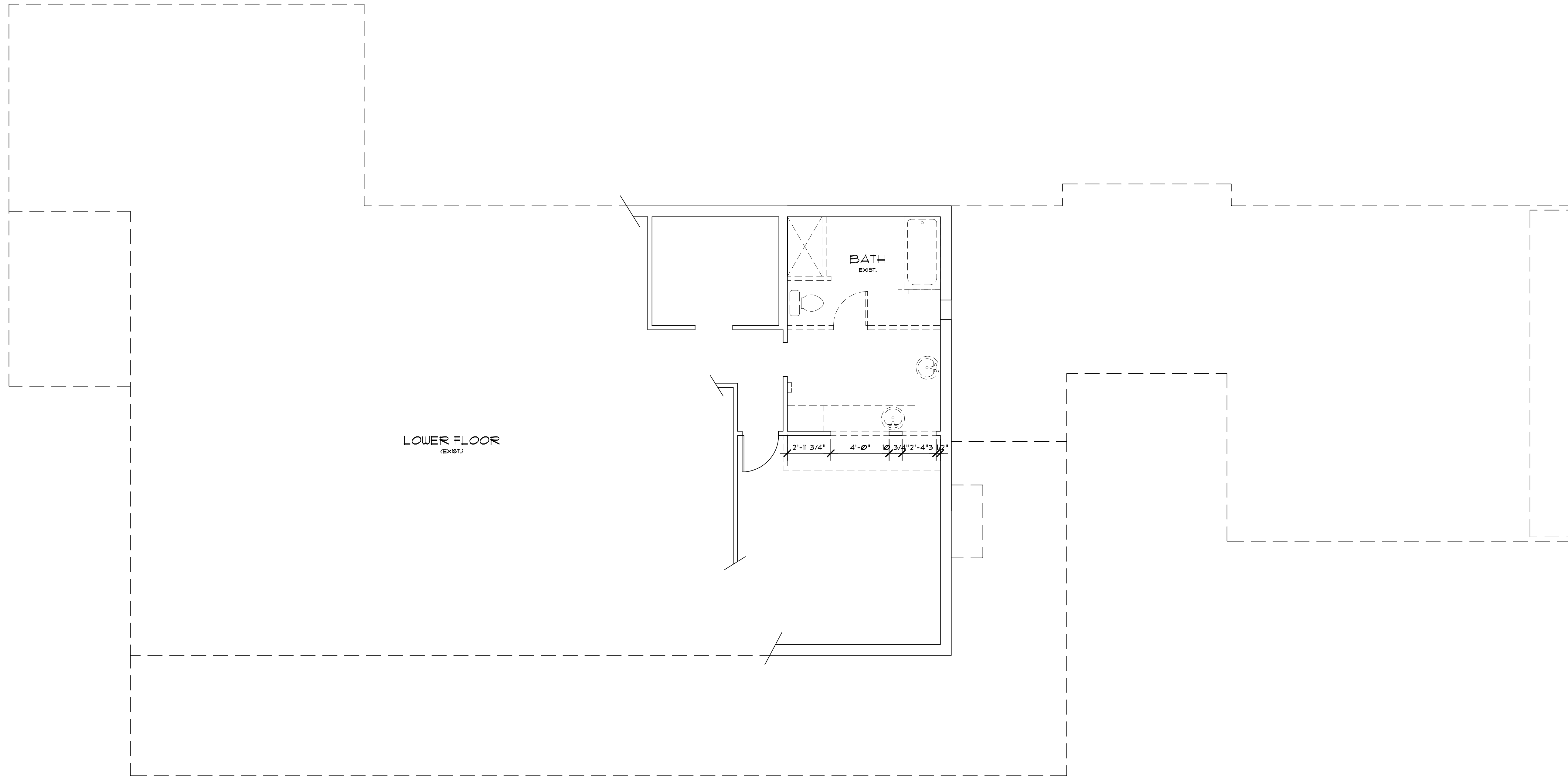
NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.



MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
DRW. BY: MM  
REVISED:

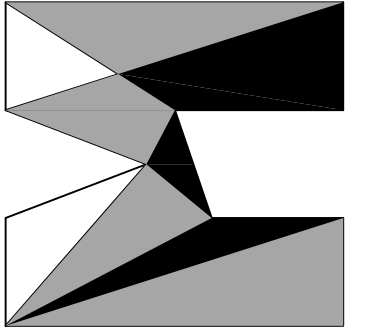
SHEET NO.  
**A2**



WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED

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LOWER FLOOR DEMOLITION PLAN  
SCALE: 1/4" = 1' - 0"

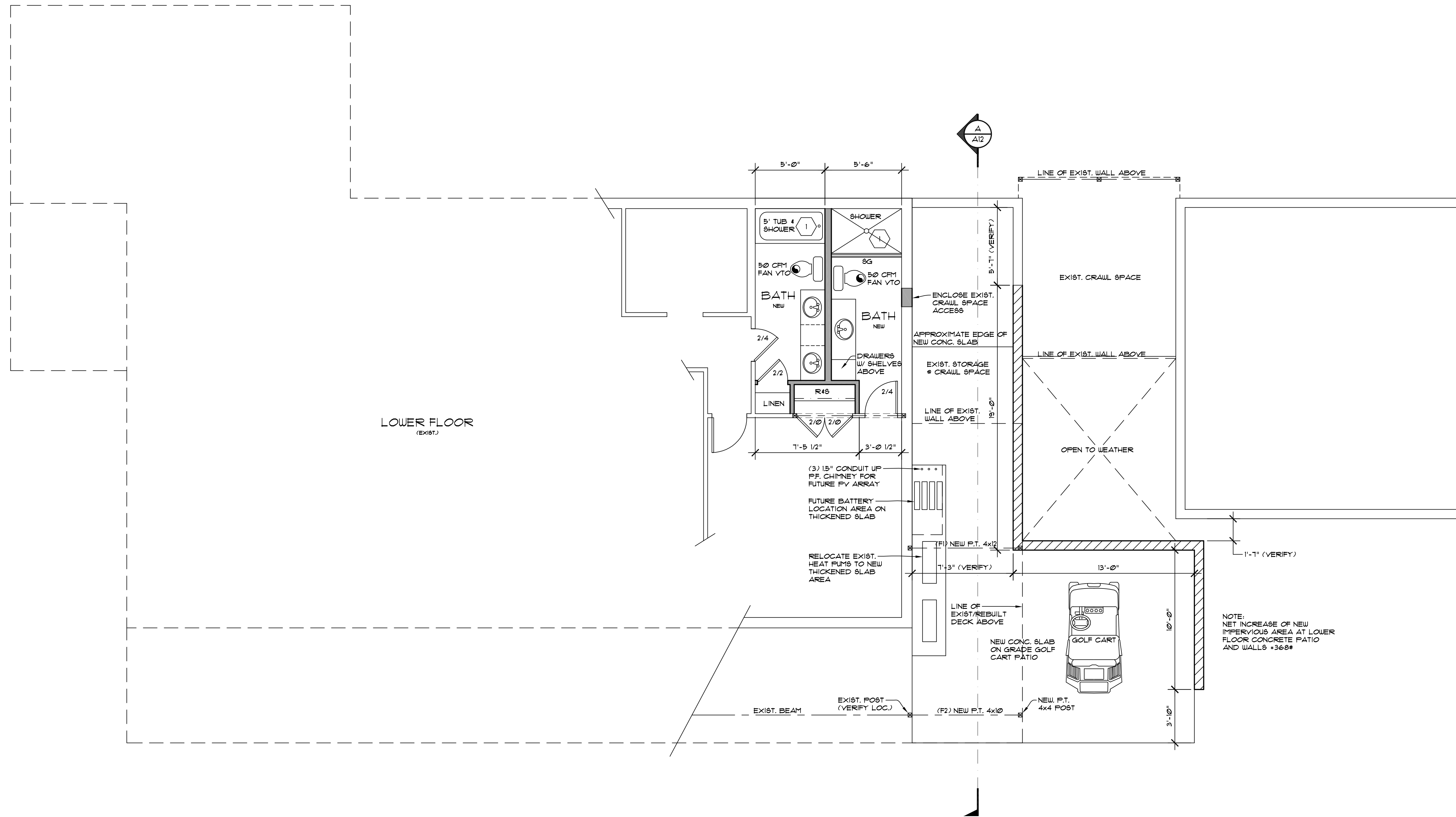


MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
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REVISED: 9/27/23

SHEET NO.

A3



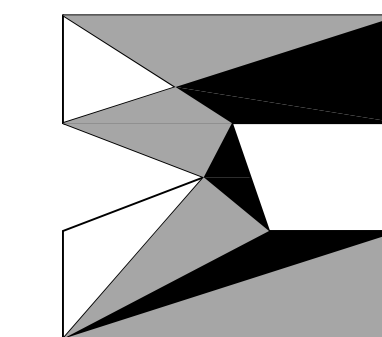
NOTE: CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS, IF DIMENSIONS OR EXISTING CONDITIONS ARE DIFFERENT THAN INDICATED ON THE PLAN, AND/OR IF THE CONTRACTOR UNCOVERS WORK THAT IS SUBSTANDARD, IS STRUCTURALLY DEFECTIVE AND/OR IS CONTRARY TO THE PLANS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ENGINEER AND/OR OWNER OF SUCH CONDITIONS AT ONCE. THE DESIGNER SHALL, IN REASONABLE TIME, PROVIDE DIRECTION TO THE CONTRACTOR ON HOW TO PROCEED WITH CORRECTIONS IF REQUIRED.

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WALL LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS
	NEW FOUNDATION WALLS

	CONC. FIBERBOARD • TUB & SHOWER SURROUND TO 6" ABOVE DRAIN
--	--

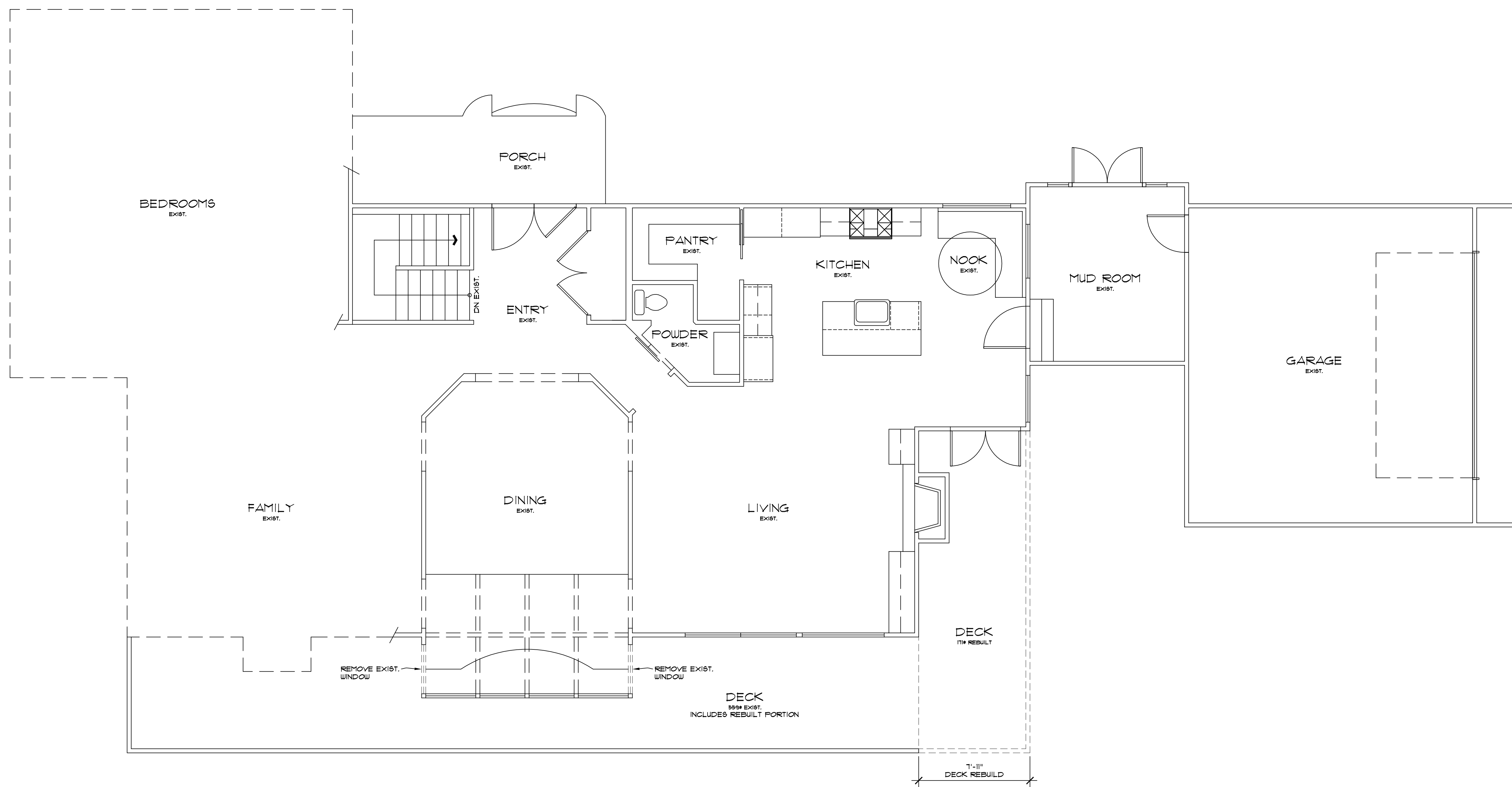
PROPOSED LOWER FLOOR PLAN  
SCALE: 1/4" = 1' - 0"



**MONTPELLIER ADDITION**  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
DRWN. BY: MM  
REVISED: 9/27/23

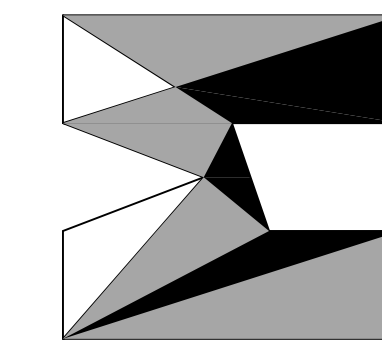
SHEET NO.  
**A4**



WALL LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED

**MAIN FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1' - 0"

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MONTPELLIER ADDITION  
3 EDEN LANE W  
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JOB NO: 20-026  
DATE: 4/14/23  
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SHEET NO.  
**A5**

PER 2018 WASHINGTON STATE ENERGY CODE - ALTERATIONS WORKSHEET FOR PRIMARY RESIDENCE:

EXISTING EXPOSED WALL CAVITIES MUST BE INSULATED W/ 2x4 STUD WALLS - R-15 INSULATION.  
2x6 STUD WALLS - R-21 INSULATION.

EXISTING EXPOSED ROOF/CEILING FRAMING MUST BE INSULATED W/ VAULTED CEILING - INSULATED TO THE FULL DEPTH OF THE FRAMING MEMBER WHILE ALLOWING FOR THE MINIMUM 1" VENTILATED SPACE. FLAT CEILING - R-49 INSULATION OR WHAT THE ATTIC SPACE CAN ACCOMMODATE BASED ON THE ROOF PITCH.

EXISTING EXPOSED FLOOR CAVITIES MUST BE INSULATED W/ R-30 INSULATION.

IF HEATING AND COOLING SYSTEMS ARE BEING REPLACED, NEW EQUIPMENT MUST MEET CURRENT REQUIREMENTS AND DUCTS NEED TO BE TESTED.

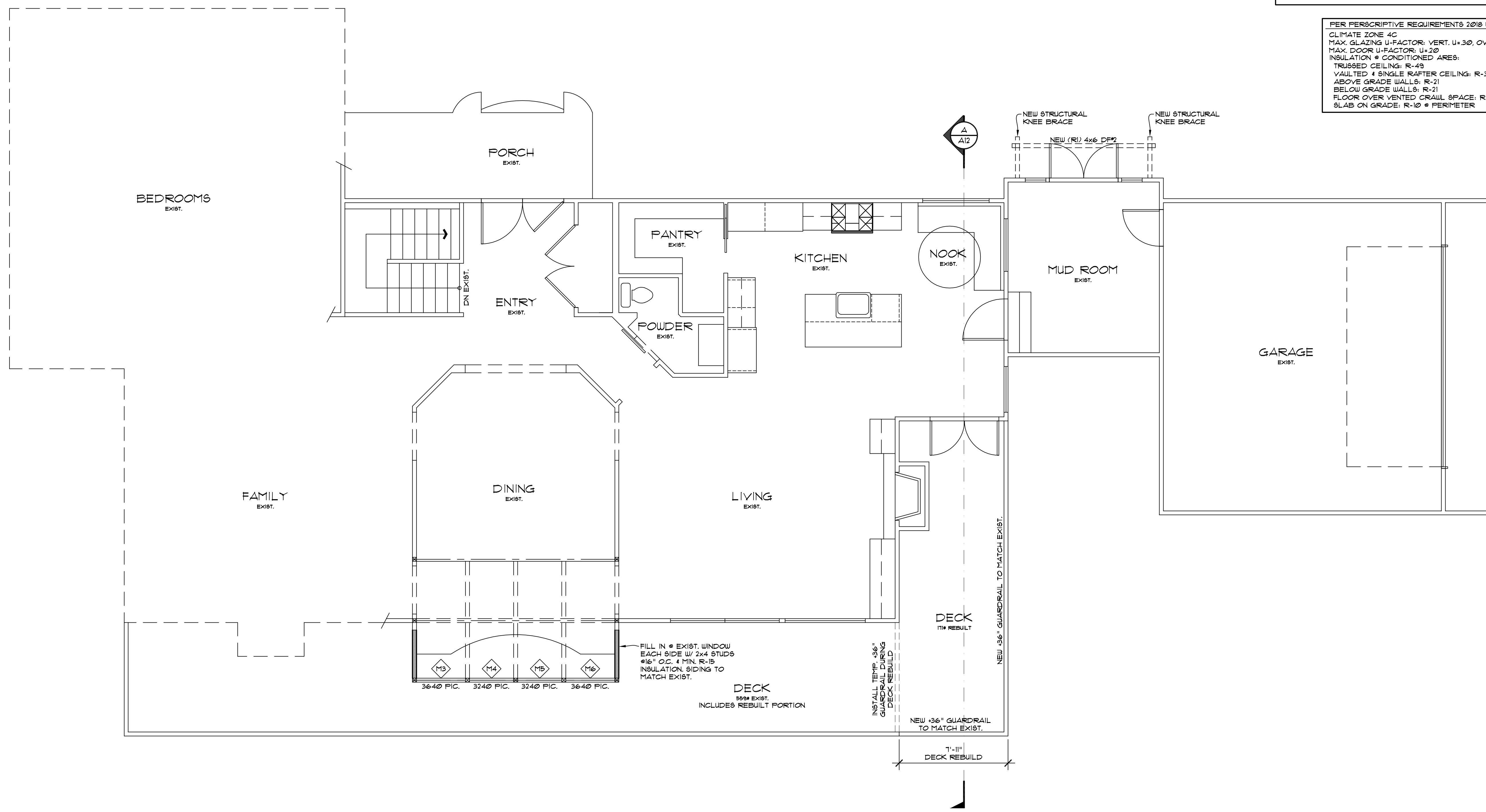
IF HOT WATER SYSTEMS IS BEING ALTERED, NEW WATER HEATING EQUIPMENT MUST MEET CURRENT CODE REQUIREMENTS.

IF WINDOWS AND/OR DOORS ARE BEING REPLACED, NEW WINDOWS AND DOORS MUST HAVE AN AREA WEIGHTED AVERAGE U-FACTOR OF LESS THAN OR EQUAL TO 0.30

IF MORE THAN 50% OF THE LIGHT FIXTURES ARE BEING CHANGED, 90% OF ALL LAMPS MUST BE HIGH-EFFICACY (LED OR CFL).

PER PRESCRIPTIVE REQUIREMENTS 2018 W.S.E.C.

CLIMATE ZONE 4C  
MAX. GLAZING U-FACTOR: VERT. U+30, OVERHEAD U+50  
MAX. DOOR U-FACTOR: U+20  
INSULATION & CONDITIONED AREAS:  
TRUSSED CEILING: R-49  
VAULTED 4 SINGLE RAFTER CEILING: R-38 (R40@22)  
ABOVE GRADE WALLS: R-21  
BELOW GRADE WALLS: R-21  
FLOOR OVER VENTED CRAWL SPACE: R-30  
SLAB ON GRADE: R-10 & PERIMETER



NOTE:  
ALL DOORS & WINDOWS ARE EXISTING UNO.

SQUARE FOOTAGE SUMMARY	
EXISTING LOWER LEVEL	1,733#
EXISTING MAIN LEVEL	2,517#
EXISTING HEATED TOTAL	4,250#
EXISTING GARAGE	472#
EXISTING DECK	559#
EXISTING DECK TO BE REBUILT	171#

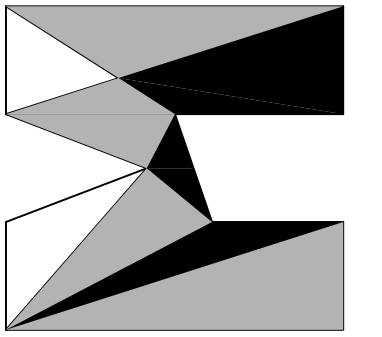
WALL LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS

PROPOSED MAIN FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

	EXTERIOR DOOR TAG. SEE DOOR SCHEDULE ON SHEET A12
	EXTERIOR WINDOW TAG. SEE WINDOW SCHEDULE ON SHEET A12

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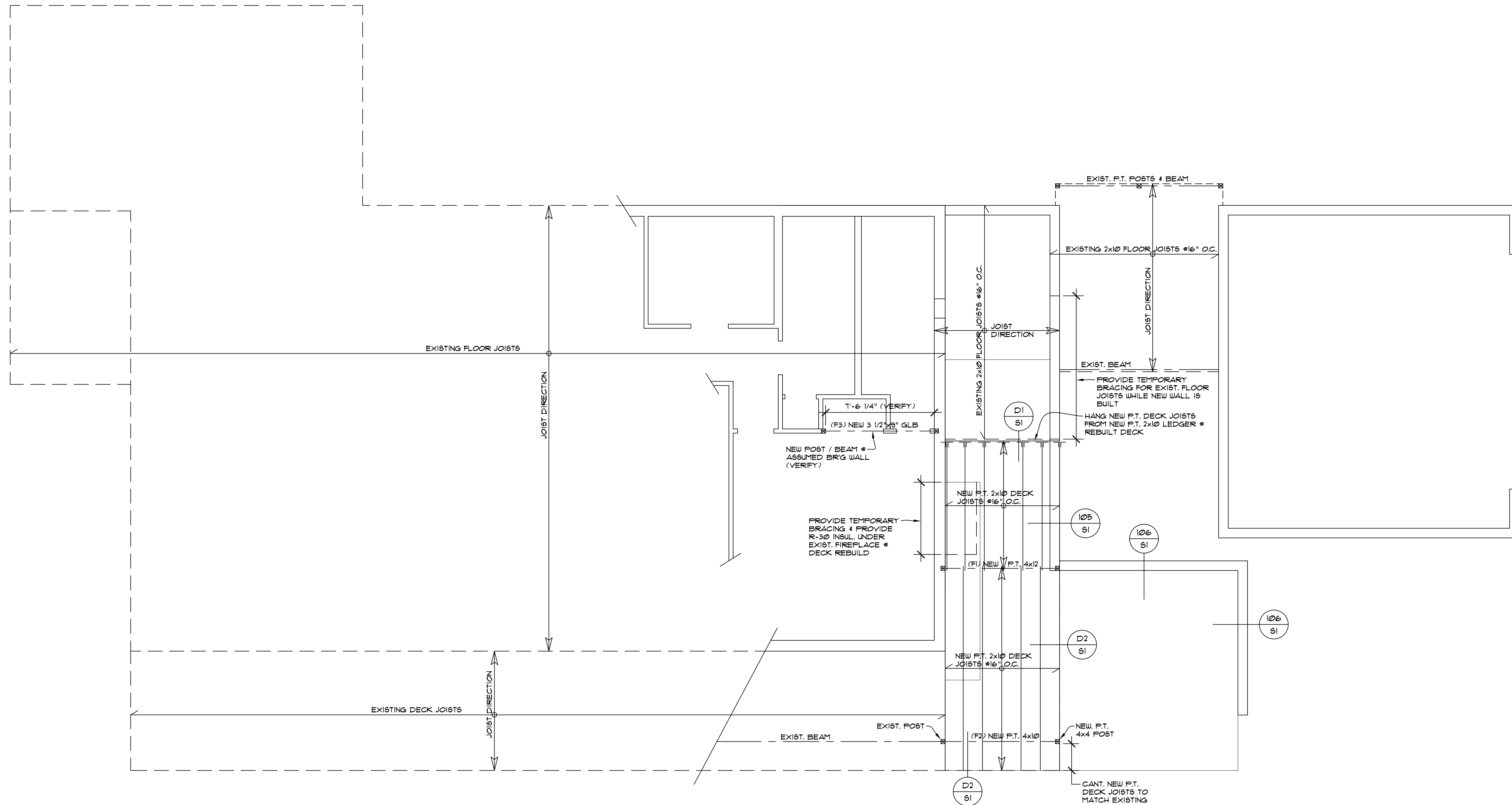




MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

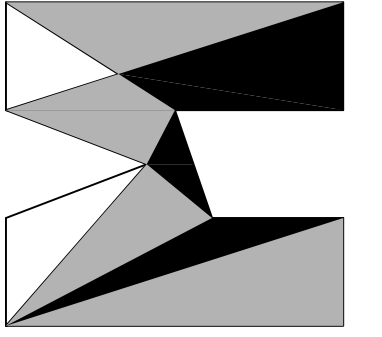
JOB NO: 20-026  
DATE: 4/14/23  
DRN. BY: MM  
REVISED: 9/27/23

SHEET NO.  
**A6**



EXHAUST VENT CLEARANCES:  
PER IRC M1501 EXHAUST FAN VENTS SHALL TERMINATE OUTDOORS AND NOT IN ATTICS, SOFFITS, RIDGE VENTS, OR CRAWL SPACES. KITCHEN, BATHROOMS, AND LAUNDRY EXHAUST TERMINATIONS TO EXIT THE STRUCTURE WITH CLEARANCES MEETING IRC M1502.3, NOT LESS THAN 3 FEET FROM PROPERTY LINES, 3 FEET FROM OPERABLE OPENINGS IN THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES.

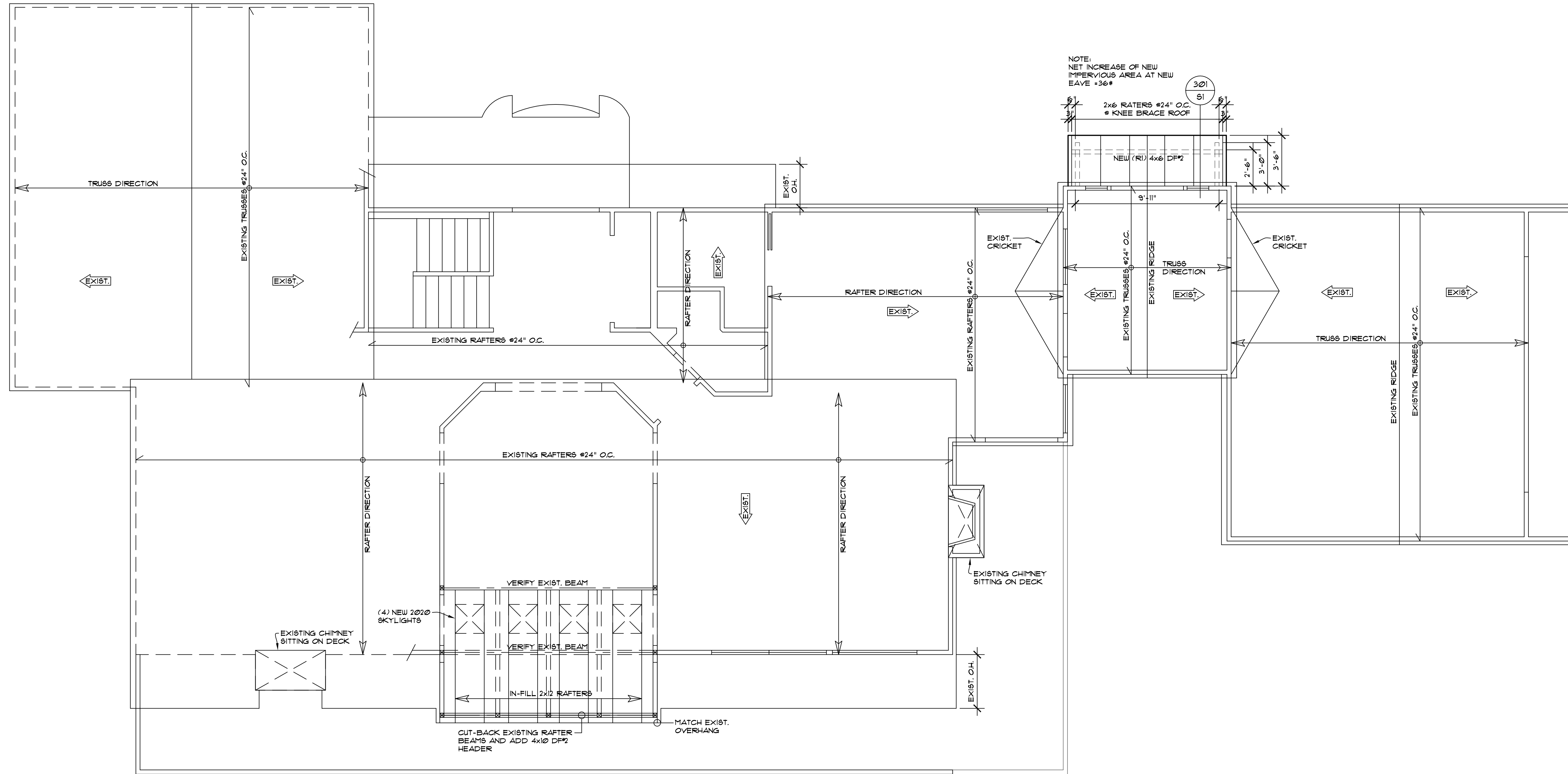
PROPOSED MAIN FLOOR FRAMING PLAN  
SCALE: 1/4" = 1' - 0"



**MONTPELLIER ADDITION**  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

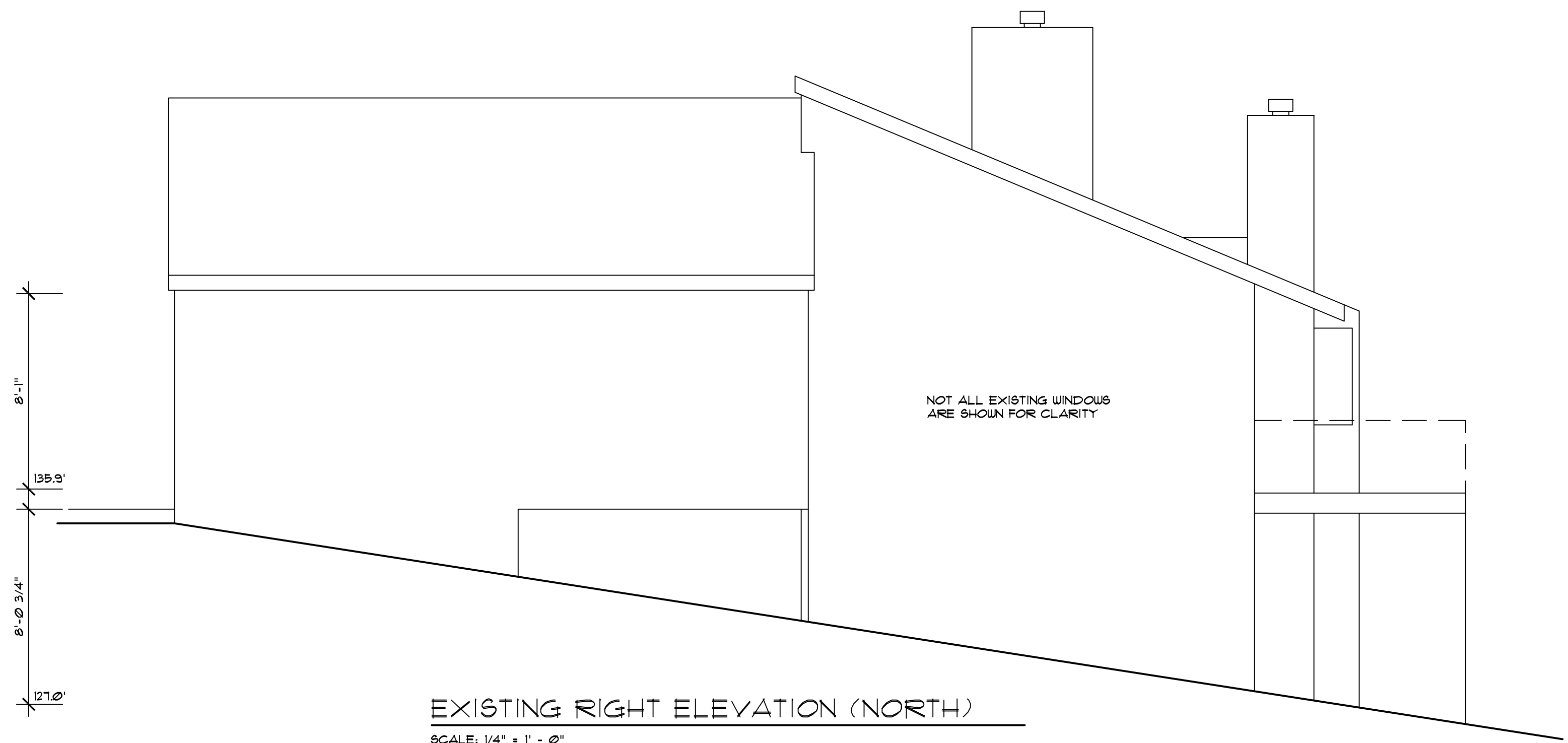
JOB NO: 20-026  
DATE: 4/14/23  
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REVISED: 9/27/23

SHEET NO.  
**A7**

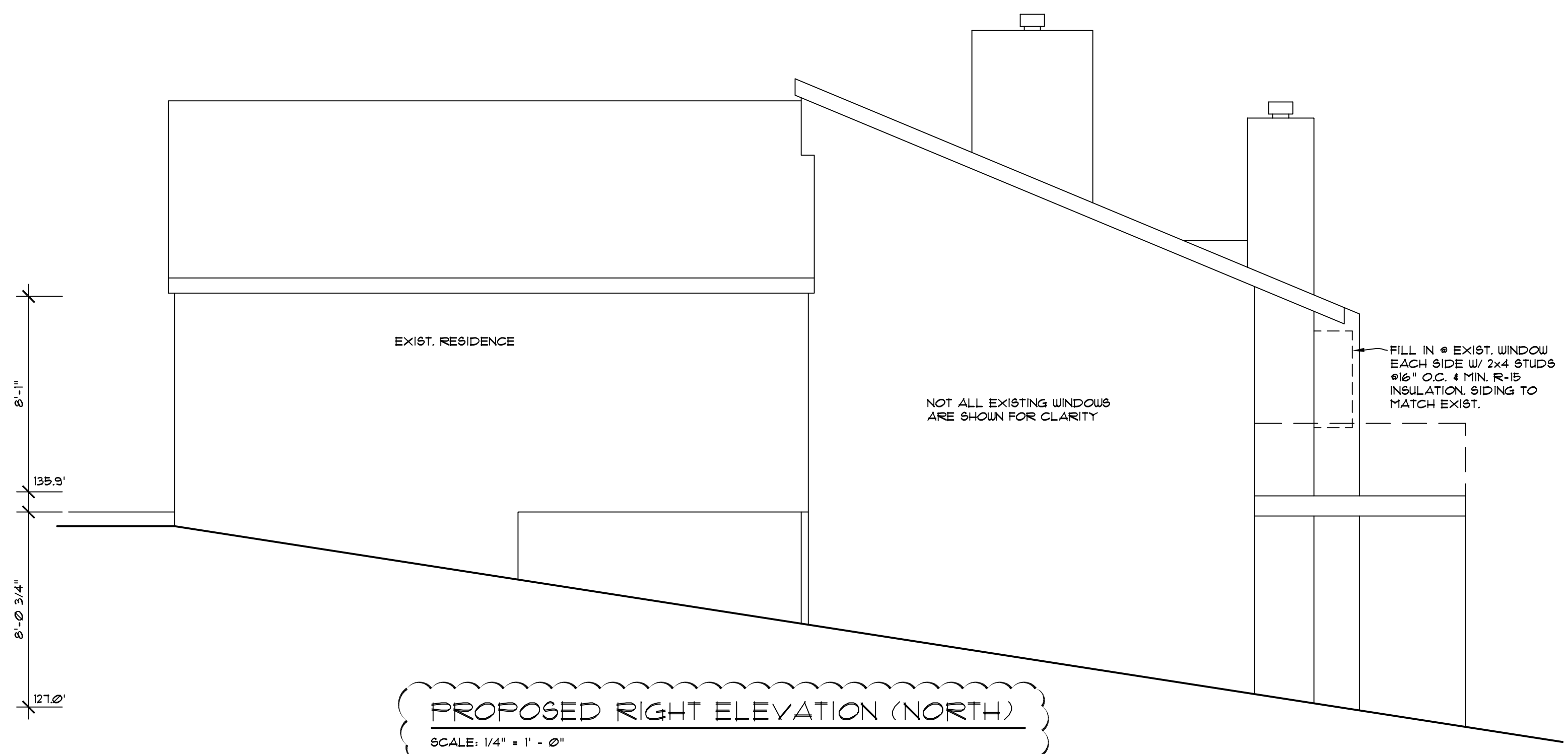


NOTE:  
NET INCREASE OF NEW  
IMPERVIOUS AREA AT NEW  
EAVE +36#

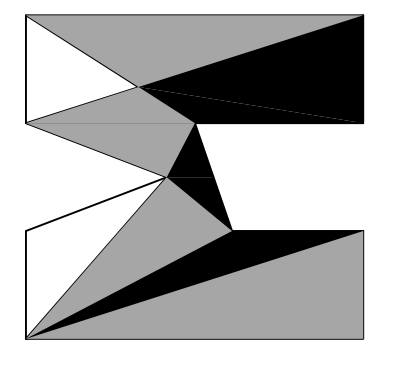
**PROPOSED ROOF FRAMING PLAN**  
SCALE: 1/4" = 1' - 0"



EXISTING RIGHT ELEVATION (NORTH)  
SCALE: 1/4" = 1' - 0"



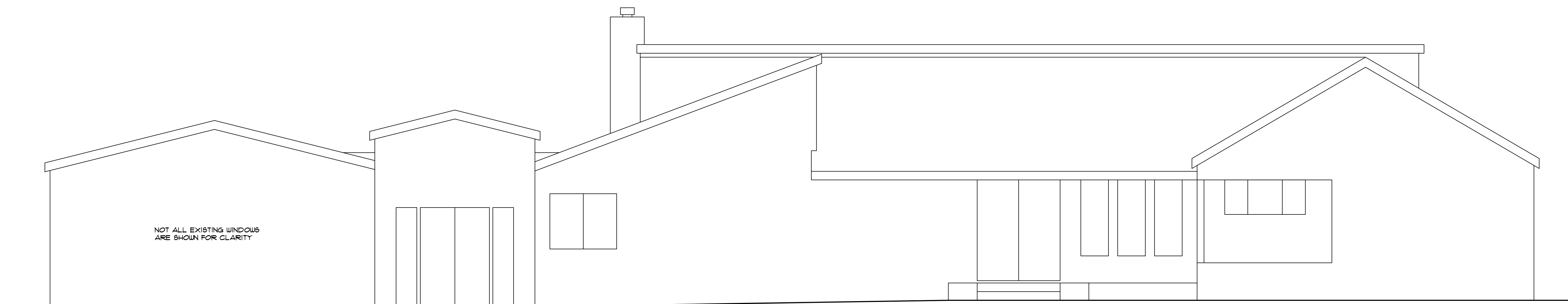
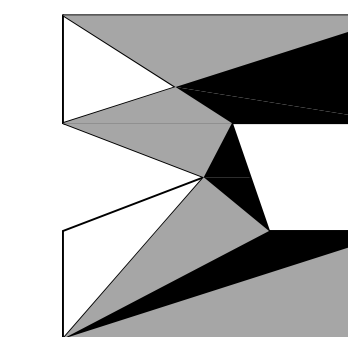
PROPOSED RIGHT ELEVATION (NORTH)  
SCALE: 1/4" = 1' - 0"



MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
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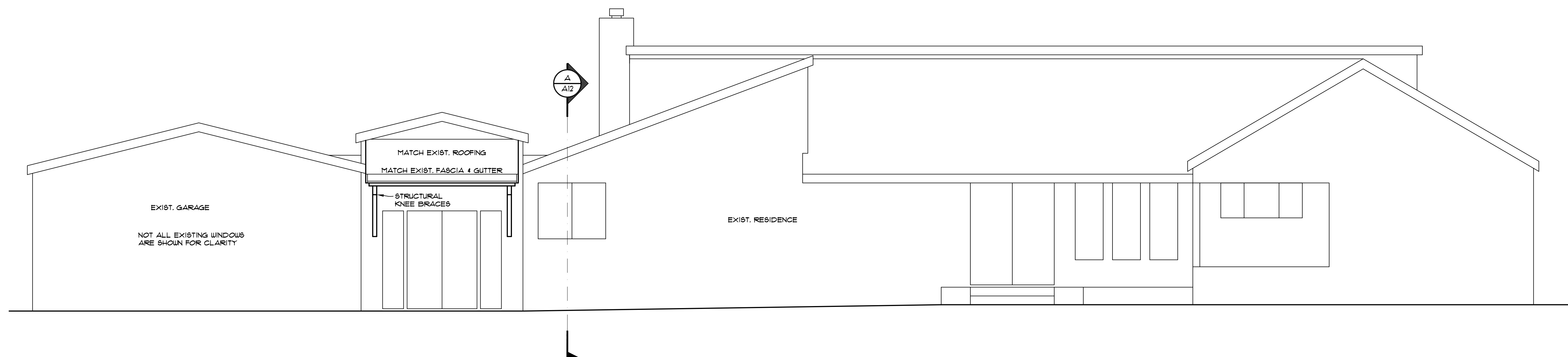
SHEET NO.  
**A8**



NOT ALL EXISTING WINDOWS  
ARE SHOWN FOR CLARITY

EXISTING FRONT ELEVATION (EAST)

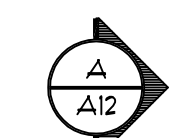
SCALE: 1/4" = 1' - 0"



EXIST. GARAGE  
NOT ALL EXISTING WINDOWS  
ARE SHOWN FOR CLARITY

MATCH EXIST. ROOFING  
MATCH EXIST. FASCIA & GUTTER  
STRUCTURAL  
KNEE BRACES

EXIST. RESIDENCE



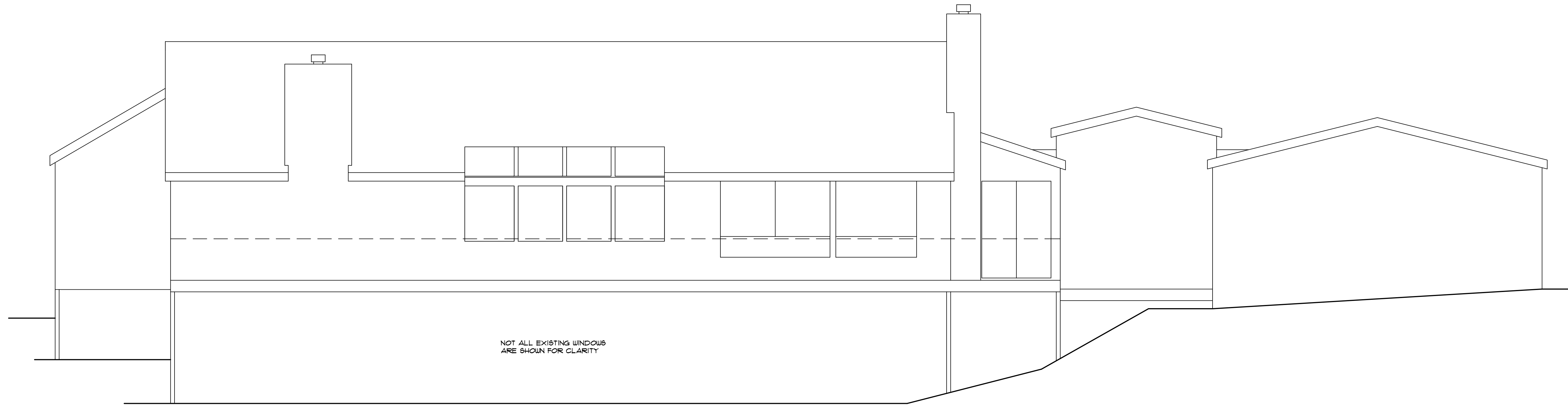
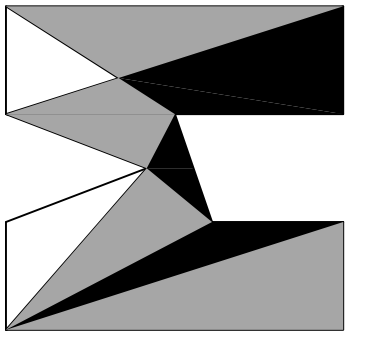
PROPOSED FRONT ELEVATION (EAST)

SCALE: 1/4" = 1' - 0"

MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
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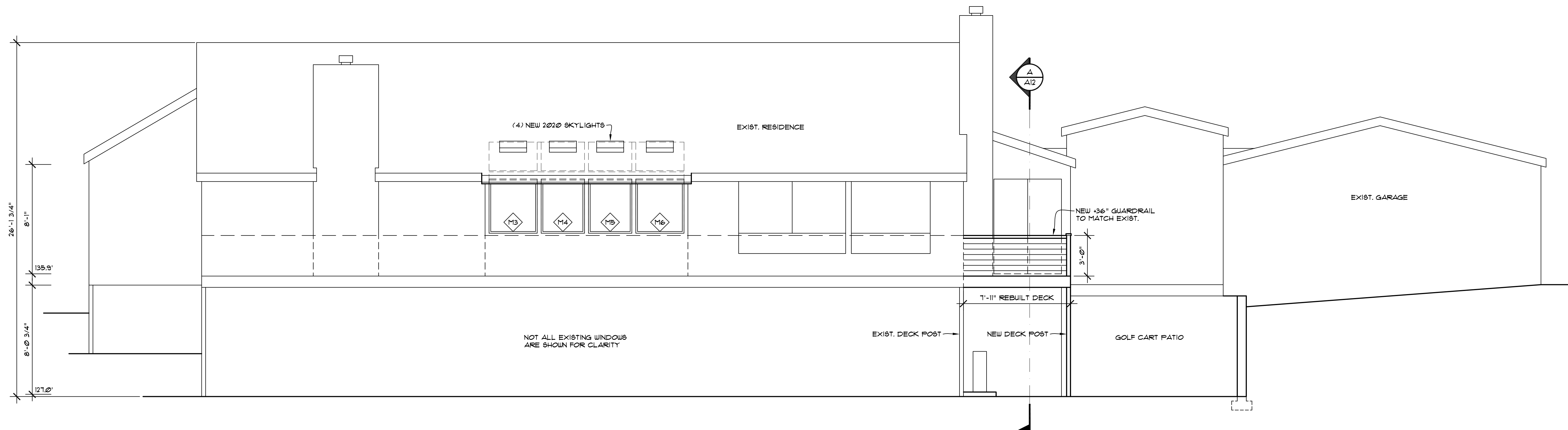
SHEET NO.  
**A9**



NOT ALL EXISTING WINDOWS  
ARE SHOWN FOR CLARITY

EXISTING REAR ELEVATION (WEST)

SCALE: 1/4" = 1' - 0"



NOT ALL EXISTING WINDOWS  
ARE SHOWN FOR CLARITY

PROPOSED REAR ELEVATION (WEST)

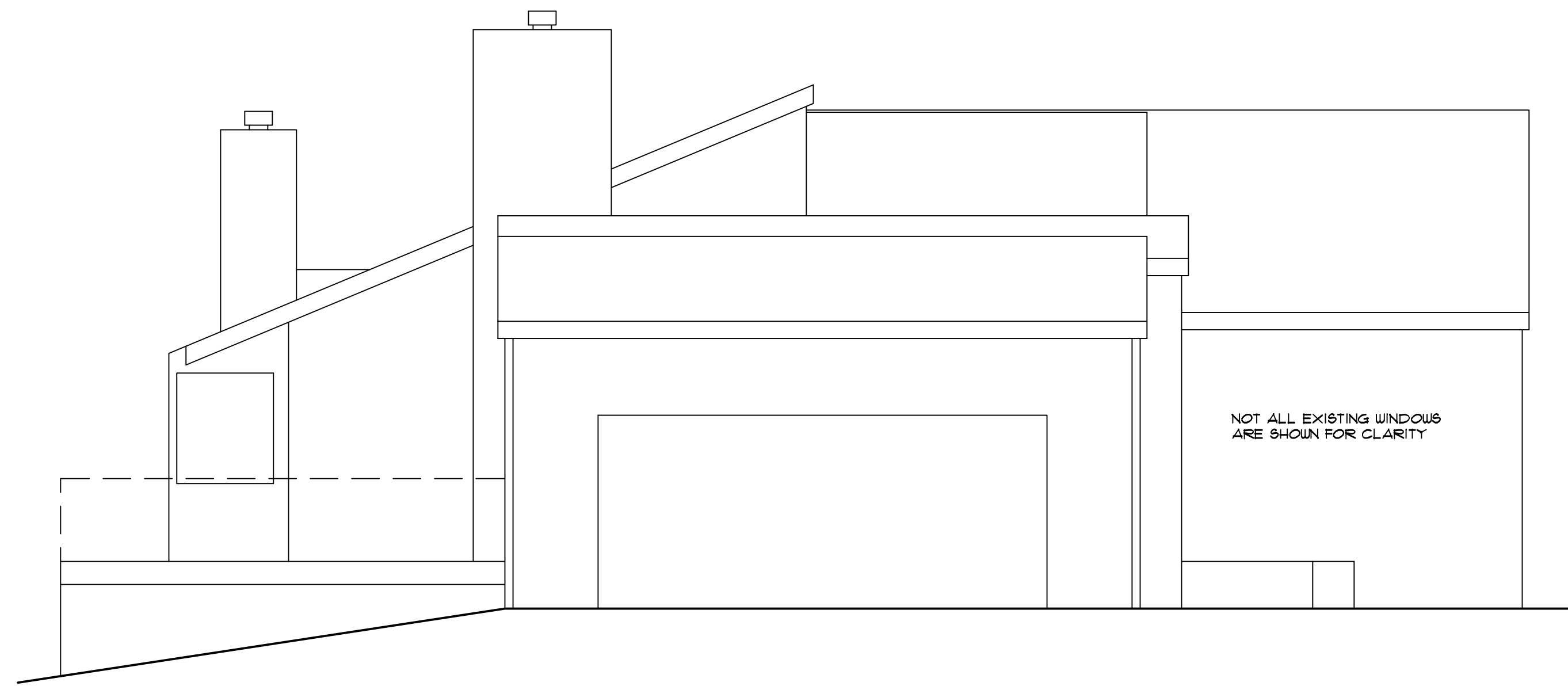
SCALE: 1/4" = 1' - 0"

MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
DRN. BY: MM  
REVISED: 9/27/23

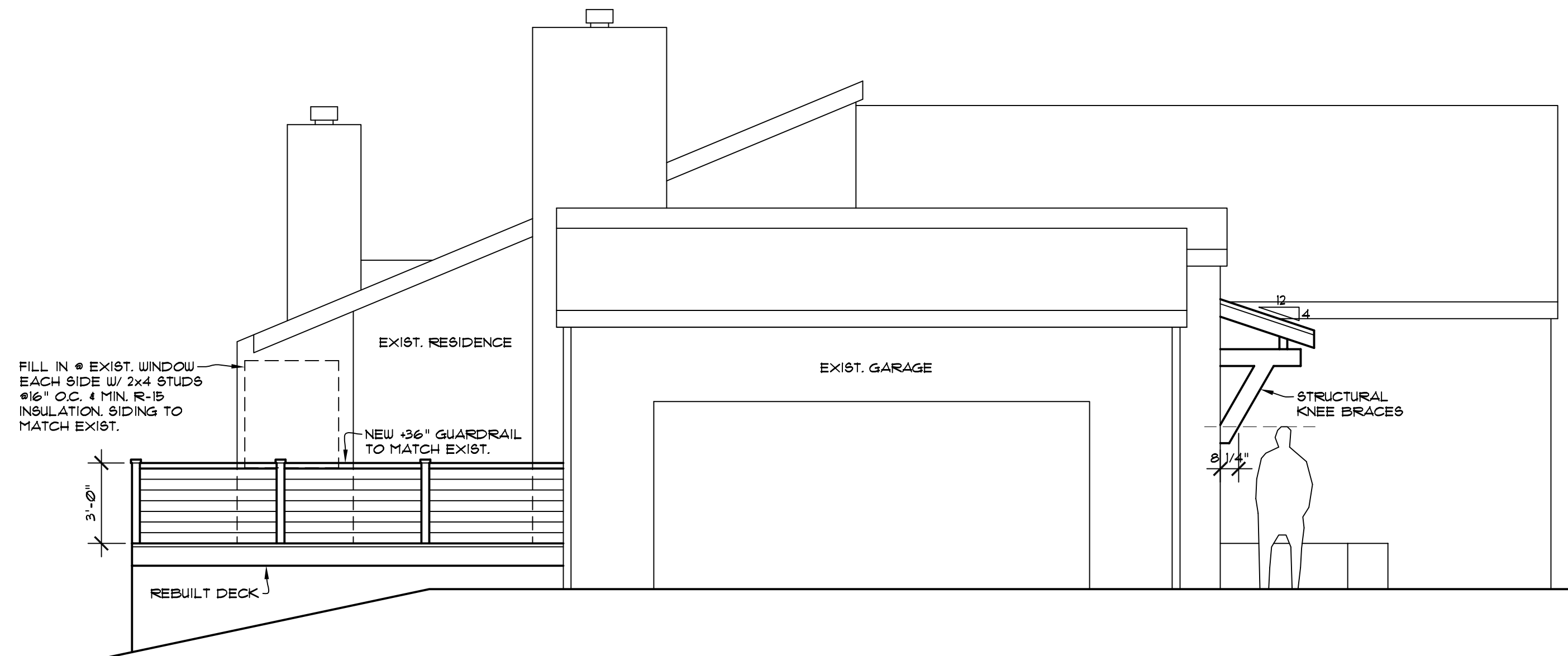
SHEET NO.

A10



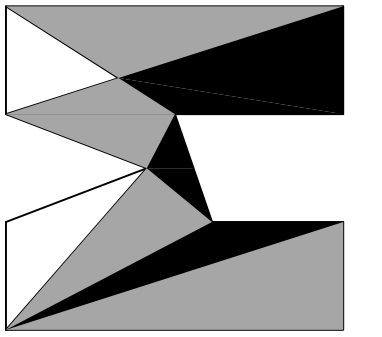
EXISTING LEFT ELEVATION (SOUTH)

SCALE: 1/4" = 1' - 0"



PROPOSED LEFT ELEVATION (SOUTH)

SCALE: 1/4" = 1' - 0"



MONTPELLIER ADDITION  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
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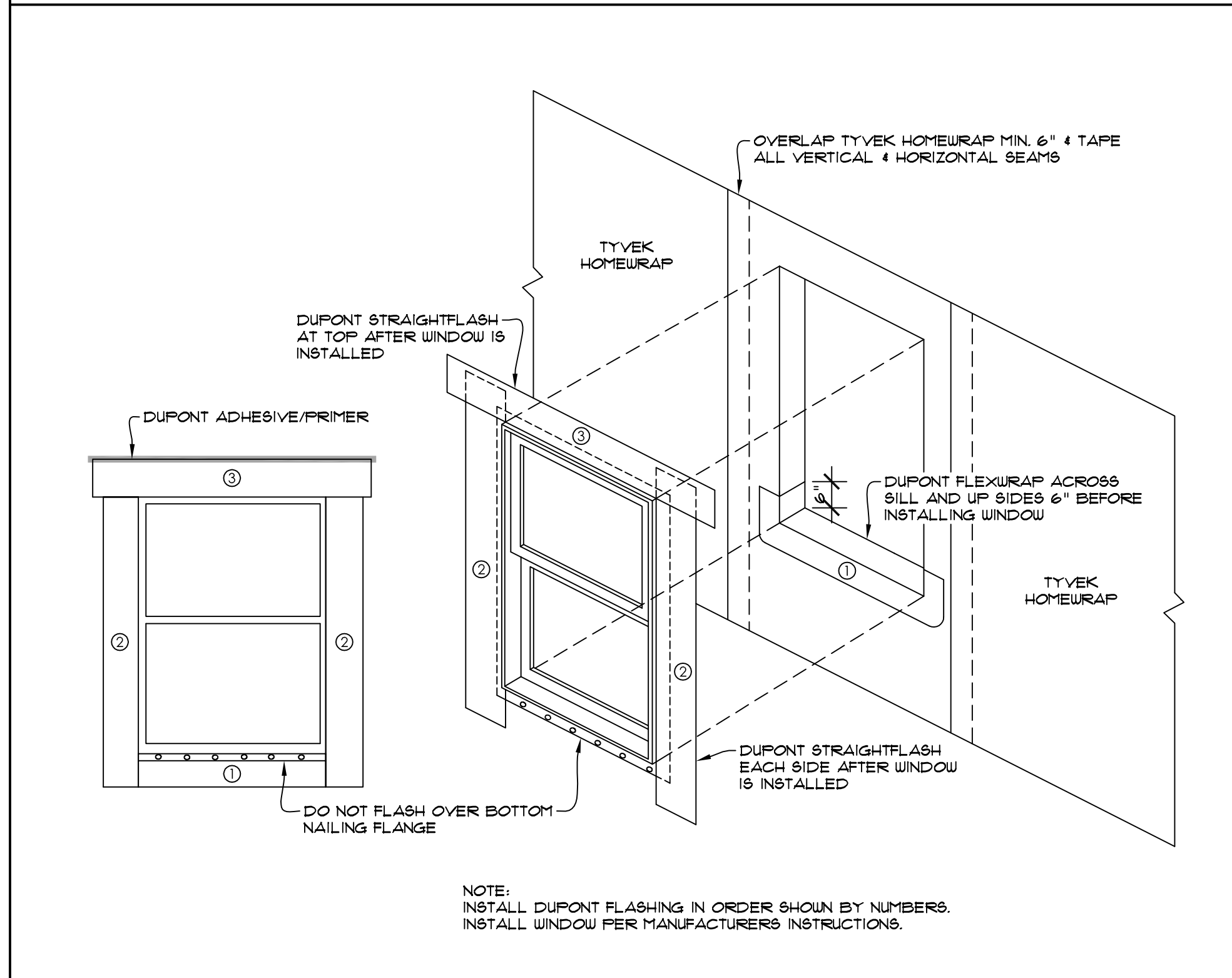
SHEET NO.

A11

**GENERAL NOTES:**

1. ALL FLOOR JOISTS PER PLAN. REFER TO MFG. LAYOUT FOR ALL FRAMING DETAILS AND BLOCKING. REVIEW MFG. LAYOUT PRIOR TO FRAMING. DOUBLE UNDER BEARING PARTITIONS. PROVIDE SOLID BLOCKING OVER BEARING MEMBERS.
2. ALL PRE-MANUFACTURED TRUSSES TO BE IDENTIFIED BY MFG'S STAMP.
3. FACTORY BUILT FIREPLACE & CHIMNEY TO BE UL LABELED INSTALL PER MANUFACTURER'S SPECS. O/SIDE COMBUSTION AIR REQ'D (MIN 6 SQ IN) DUCTED TO F/BOX W/ OPERABLE O/SIDE DAMPER, TIGHTLY FITTING FLUE DAMPER, AND TIGHT FITTING GLASS OR METAL DOORS OR FLUE DRAFT INDUCTION FAN.
4. LIMIT SHOWER FLOW TO 2.5 GALLON/MIN.
5. H.W.T. TO BE LABELED PER ASHRAE STD. NO. 90A-90, AND MEET THE REQUIREMENTS, PER 1981 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
6. FURNACE AND H.W. TANK, PILOTS, BURNERS, HEATING ELEMENTS, AND SWITCHES TO BE A MIN. OF 18" ABOVE FINISHED FLOOR.
7. ALL SKYLITES TO COMPLY WITH I.R.C. SECTION 2409.1 & 2603.7
8. ALL SIDELITES, SLIDING GLASS DOORS AND TUB/SHOWER ENCLOSURES TO COMPLY WITH I.B.C. SECTION 2406.
9. HEAT REGISTERS TO BE PER LEGEND, LOCATE APPROXIMATELY AS SHOWN, 6" IN FROM EXTERIOR WALLS, 3" IN FROM INTERIOR WALLS.
10. VENT DRYER, OVEN/RANGE & EXHAUST FANS TO O/SIDE. DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMB. HORIZ. AND VERT. LENGTH OF 14'-0". INCL. 2 90° ELBOWS. DEDUCT 2'-0" FOR EA. 90° ELBOW. EXCEEDING 2' SEE DRYER DUCT DTL. FOR ALT. SOLUTIONS. ALL EXHAUST DUCTS INSULATED (MIN. OF R-4)
11. ALL NAILING PER IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.3.1. COLUMN, POST & BEAM CONNECTIONS TO COMPLY WITH I.B.C. SECTION 2316.
12. ---
13. SOLID SHIT'G REQ'D ON LOWER STORY OF 2 STORY BUILDING PER I.B.C. DRYWALL NAILED PER SHEAR NAILING SCHEDULES OR IBC 2018 EDITION.
14. TUB/SHOWER SURROUND WALLS TO HAVE WATER RESISTANT GYP BOARD AND A SMOOTH HARD SURFACE TO A MINIMUM HEIGHT OF 10" ABOVE DRAIN INLET.
15. PROVIDE SMOKE DETECTOR IN COMPLIANCE WITH I.B.C. AND I.B.C. STD. #436. ALL SMOKE DETECTORS W/ BATT BACKUP. SMOKE DETECTORS WILL SOUND AN AUDIBLE ALARM IN ALL SLEEPING ROOMS.
16. DWELLING TO COMPLY W/ 2018 IECC.
17. SEAL, CAULK, GASKET, OR WEATHERSTRIP TO LIMIT AIR LEAKAGE: AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALL AND ROOF AND WALL PANELS, OPENINGS AT UTILITY PENETRATIONS THROUGH WALLS, FLOORS, AND ROOFS, ALL OTHER OPENINGS IN BUILDING ENVELOPE.
18. ALL EXTERIOR DOORS OR ACCESS HATCHES TO ENCLOSED UNHEATED AREAS MUST BE WEATHERSTRIPPED.
19. MINIMUM SOIL BEARING PRESSURE = 2000 PSF.
20. FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL.
21. DWELLING TO COMPLY WITH INTERNATIONAL BUILDING CODE (I.B.C.) 2018
22. FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCL'D DRAFT OPENINGS FROM VERT. TO HORIZ. SPACES, INCLUDING THE STAIR, TUB, SHOWER, FIREPLACE, ETC.

**FLANGED WINDOW FLASHING INSTALLATION AFTER TYVEK HOMEWRAP (OR EQUIVALENT)**



**WINDOW SCHEDULE**

M3	M6	3'-6"	4'-0"
DINING HDR. HT. 7'-0"			
M4	M5	3'-2"	4'-0"
DINING HDR. HT. 7'-0"			
SG = SAFETY GLASS E = EGRESS WINDOW			
U-FACTOR FOR ALL WINDOWS = 0.30 U-FACTOR FOR DOORS = 0.20			

**ALL WINDOWS TO HAVE INDIVIDUAL OUTDOOR AIR INLET PORTS PER IMC 401.2 & 402.1**

THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. (R402.4.12)

AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

R301.3 GEOGRAPHICAL AREAS. APPROVED NATURALLY DURABLE OR PRESERVE-PRESERVATIVE-TREATED WOOD SHALL BE USED FOR THOSE PORTIONS OF WOOD MEMBERS THAT FORM THE STRUCTURAL SUPPORTS OF BUILDINGS, BALCONIES, PORCHES OR SIMILAR PERMANENT BUILDING APPURTENANCES WHEN THOSE MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS. DEPENDING ON LOCAL EXPERIENCE, SUCH MEMBERS MAY INCLUDE:

1. HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS AND DECKING.
2. VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
3. BOTH HORIZONTAL AND VERTICAL MEMBERS.

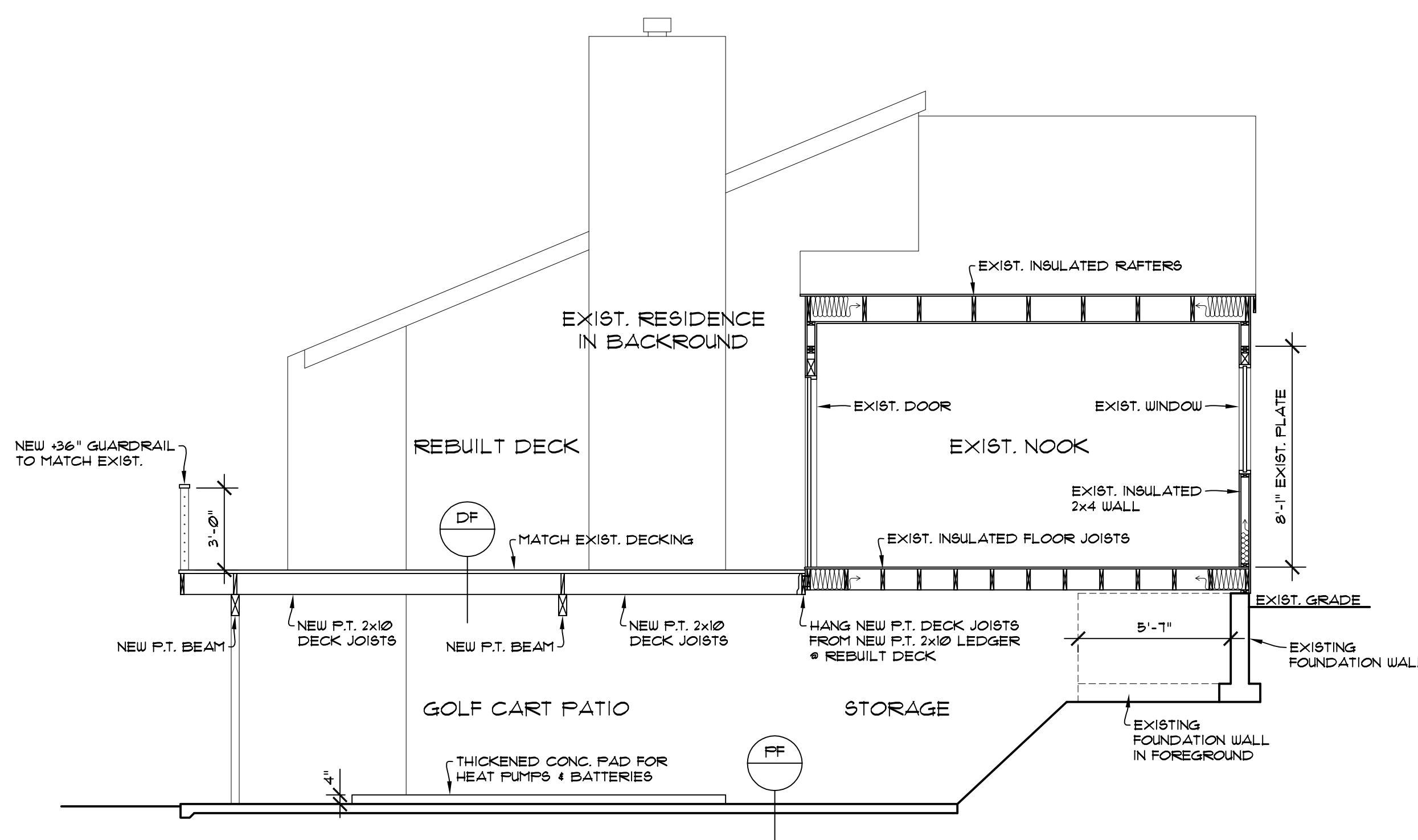
R303.1 STAIRWAY ILLUMINATION. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCE SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE (1 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.

**SOURCE SPECIFIC VENTILATION REQUIREMENTS:**

BATHROOMS, LAUNDRY ROOMS AND POWDER ROOM FANS TO BE 50 CFM. KITCHEN EXHAUST FANS TO BE 100 CFM UNO. EXHAUST FANS SHALL BE FLOW RATED AT 25 W.G. STATIC PRESSURE

EXHAUST DUCTS SHALL: BE INSULATED TO R-4 IN UNCONDITIONED SPACE BE EQUIPPED WITH A BACKDRAFT DAMPER TERMINATE OUTSIDE THE BUILDING PER SRC M501.1 COMPLY WITH BELOW:

FAN CFM	MAX. FLEX DIA.	MAX. FT.	MAX. SMOOTH DIA.	MAX. FT.
50	4"	25'	4"	10'
50	5"	30'	5"	100'
50	6"	OVER 100'	6"	OVER 100'
80	4"	N/A	4"	20'
80	5"	15'	5"	100'
80	6"	30'	6"	OVER 100'
100	5"	N/A	5"	50'
100	6"	45'	6"	OVER 100'
125	6"	15'	6"	OVER 100'
125	7"	10'	7"	OVER 100'



**BUILDING SECTION 'A'**  
SCALE: 1/4" = 1' - 0"

DF	REBUILT DECK FLOOR DECKING TO MATCH EXISTING P.T. 2x10 DECK JOISTS @16" O.C. P.T. BEAMS PER PLAN
FF	GOLF CART PATIO FLOOR 4" CONCRETE SLAB ON GRADE W/ 6x6 W/4x4 WUF 6 MIL. VAPOUR BARRIER 4" GRANULAR FILL

**MONTPELLIER ADDITION**  
3 EDEN LANE W  
MERCER ISLAND, WA 98040

JOB NO: 20-026  
DATE: 4/14/23  
DRWN. BY: MM  
REVISED: 9/27/23

SHEET NO.  
**A12**

**STRUCTURAL NOTES**

**CODES AND SPECIFICATIONS**

- INTERNATIONAL BUILDING CODE, 2018 EDITION, ASCE 7-16
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION
- SIMPSON STRONG TIE WOOD CONSTRUCTION CONNECTORS 2019-2020
- FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE STAINLESS STEEL, ZMAX(G185HDG PER ASTM A653). BATCH/POST HOT-DIP GALVANIZED (PER ASTM B695, CLASS 55 OR GREATER), UNCOATED AND PAINTED PRODUCTS SHOULD NOT BE USED WITH TREATED WOOD. WHEN USING STAINLESS STEEL HOT-DIP GALVANIZED CONNECTORS, THE CONNECTORS AND FASTENERS SHOULD BE MADE OF THE SAME MATERIAL.

**DESIGN CRITERIA**

- WIND LOAD: INTERNATIONAL BUILDING CODE, 2018, ASCE 7-16, ALTERNATE ALL-HEIGHTS METHOD, ULTIMATE DESIGN WIND SPEED = 110 MPH, NOMINAL DESIGN WIND SPEED = 85 MPH, EXPOSURE C
- SEISMIC: INTERNATIONAL BUILDING CODE, 2018, ASCE 7-16  
RISK CATEGORY II, SEISMIC IMPORTANCE CATEGORY, I=1.0  
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS, S<sub>s</sub>=1.5, S<sub>1</sub>=0.5  
SITE CLASS D  
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS, S<sub>ds</sub>=1.0g, S<sub>d</sub>=0.5g  
SEISMIC DESIGN CATEGORY, D2  
BASIC SEISMIC FORCE-RESISTING SYSTEM: LIGHT FRAME WALLS WITH WOOD SHEAR WALLS  
DESIGN BASE SHEAR, V + F(S<sub>ds</sub>)(W)/R = 0.1846W  
RESPONSE MODIFICATION COEFFICIENT, R=6.5  
ANALYSIS PROCEDURE USED: SIMPLIFIED ALTERNATIVE STRUCTURAL DESIGN FOR SIMPLE BEARING WALL SYSTEMS
- ROOF LOAD: DL = 15 PSF LL = 25 PSF (SNOW LOAD)
- FLOOR LOAD: DL = 10 PSF LL = 40 PSF
- DECK LOAD: DL = 10 PSF LL = 60 PSF
- SOILS: ASSUMED 1500 PSF ALLOWABLE SOIL BEARING  
ASSUMED 35 PCF ACTIVE SOIL PRESSURE, 350 PCF PASSIVE PRESSURE, 0.35 COEFFICIENT OF FRICTION  
ALL FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MODIFIED PROCTOR.
- CONCRETE: 3000 PSI @ 28 DAYS (2500 PSI USED FOR DESIGN)  
GRADE 40 REINFORCEMENT  
MINIMUM 3" COVER FOR ALL REINFORCEMENT EXCEPT AS NOTED AT RETAINING WALL OR OTHER DETAILS.

**TIMBER CONSTRUCTION DETAILS**

- LUMBER GRADES AND ALLOWABLE STRESSES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE ON PLANS:  
ALL SAWN LUMBER HF#2 OR BETTER, F<sub>b</sub> = 875 PSI, F<sub>v</sub> = 75 PSI, E = 1,300,000  
GLULAM BEAMS 24F-V4, F<sub>b</sub> = 2400 PSI, F<sub>v</sub> = 165 PSI, E = 1,800,000  
MICROLAM, LVL F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, E = 1,900,000  
PARALLAMS, PSL F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 290 PSI, E = 2,900,000
- WHEN TOP PLATE IS INTERRUPTED BY HEADER, HEADER SHALL HAVE STRAP CONNECTORS TO THE TOP PLATE EACH END. USE 2-SIMPSON MSTA24 CONNECTORS, UNLESS NOTED OTHERWISE
- ALL SHEAR WALL SHEATHING, NAILS AND ANCHORS SHALL BE AS DETAILED ON THE DRAWINGS AND AS NOTED IN THE SHEAR WALL SCHEDULE.
- FLOOR SHEATHING SHALL BE 3/4" MINIMUM APA RATED FLOOR SHEATHING WITH 10d COMMON @ 6"OC AT ALL SUPPORTED PANEL EDGES AND 10d @ 12"OC AT INTERMEDIATE SUPPORTS.
- ROOF SHEATHING SHALL BE 3/4" MINIMUM APA RATED ROOF SHEATHING WITH 8d COMMON @ 6"OC AT ALL SUPPORTED PANEL EDGES AND 8d @ 12"OC AT INTERMEDIATE SUPPORTS.

**GENERAL CONSTRUCTION NOTES**

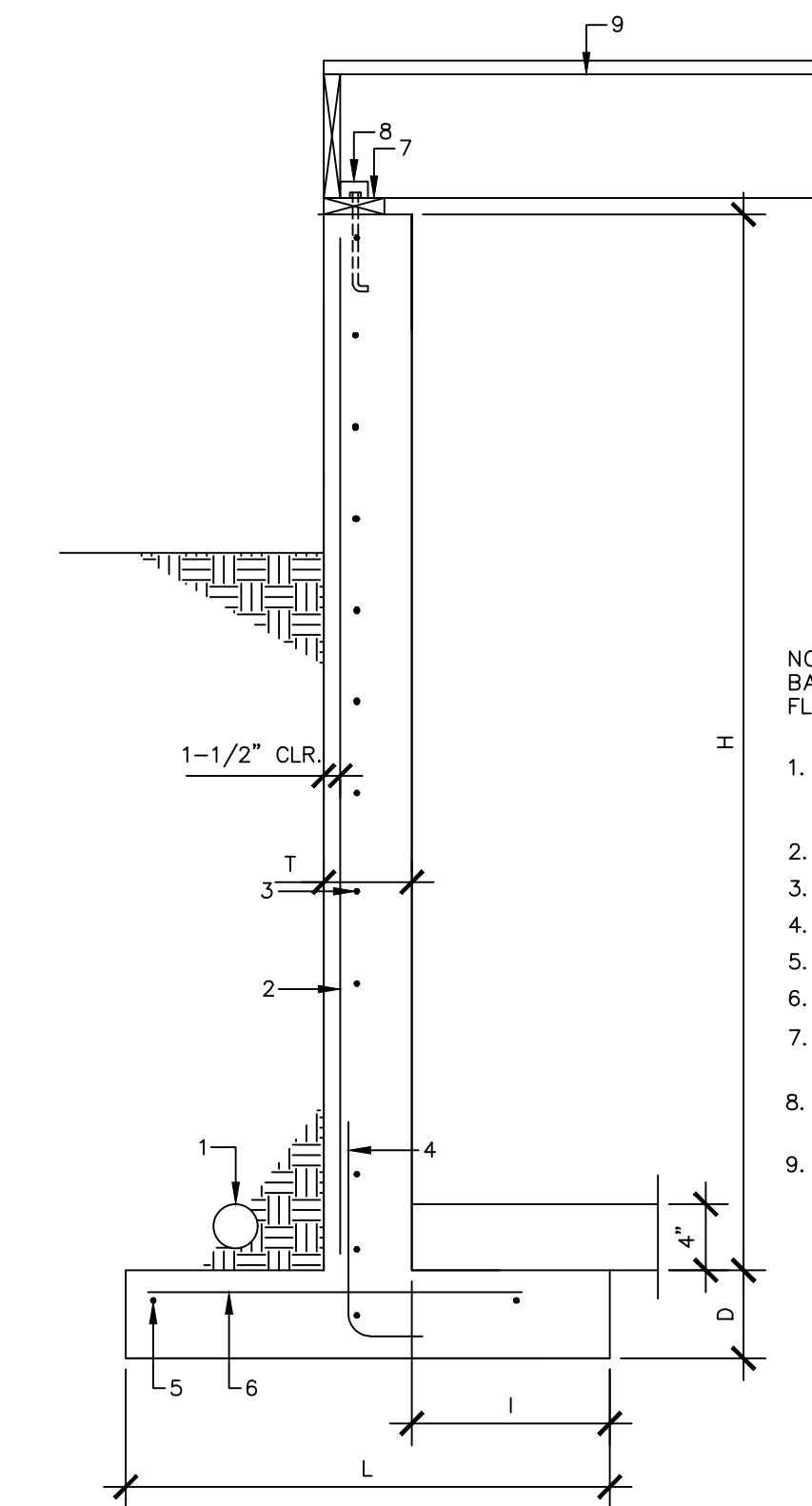
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ANY VARIATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR THE ENGINEER OF RECORD.
- ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION SHALL BE PROVIDED.
- ANY PROPOSED FIELD CHANGES MUST HAVE THE APPROVAL OF THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

**CANTILEVERED RETAINING WALL SCHEDULE**

H	T	L	I	D	VERTICAL REINFORCING	HORIZONTAL REINFORCING	DOWELS	FOOTING REINFORCING
4'-0"	8"	2'-0"	8"	8"	#4 @12" O.C.	#4 @10" O.C.	#4 @12" O.C.	#4 @18" O.C.
6'-0"	8"	2'-8"	1'-0"	9"	#4 @12" O.C.	#4 @10" O.C.	#4 @12" O.C.	#4 @18" O.C.
8'-0"	8"	3'-8"	1'-6"	10"	#5 @12" O.C.	#4 @10" O.C.	#5 @12" O.C.	#4 @10" O.C.
10'-0"	8"	5'-8"	2'-6"	10"	#5 @8" O.C.	#4 @10" O.C.	#5 @8" O.C.	#5 @8" O.C.
12'-0"	10"	6'-6"	2'-10"	11"	#6 @8" O.C.	#4 @8" O.C.	#6 @8" O.C.	#5 @10" O.C.

**NOTES:**

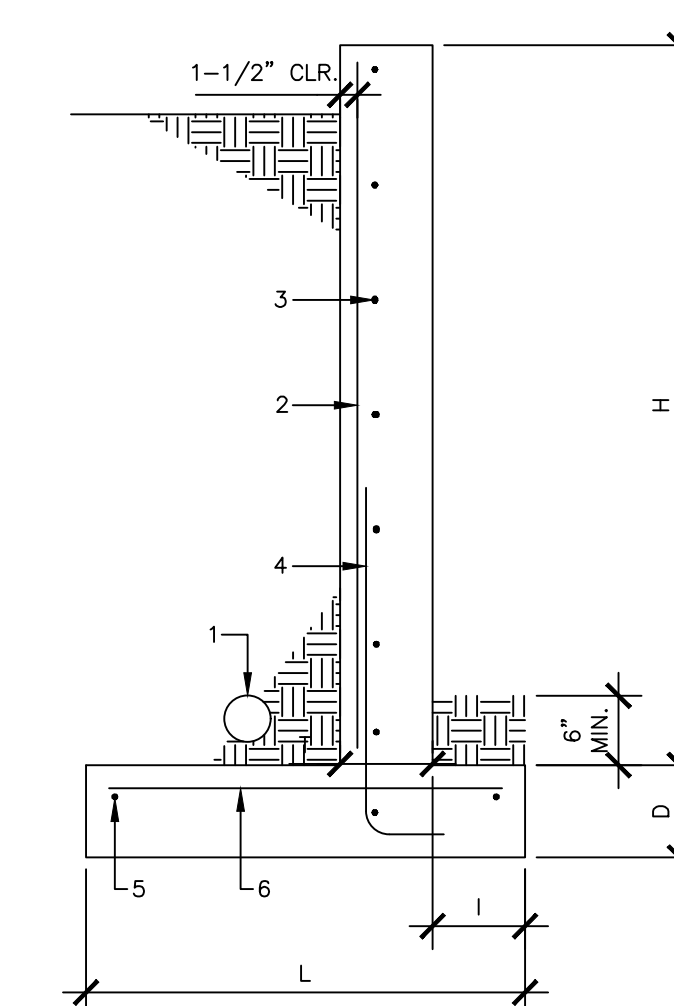
- CONCRETE STRENGTH SHALL BE AT 2500 PSI @28 DAYS
- REINFORCING BARS SHALL BE GRADE 40
- LATERAL EARTH PRESSURE = 30 PCF WITH LEVEL BACKFILL
- PASSIVE RESISTANCE = 300 PCF AND COEFFICIENT OF FRICTION = 0.35
- PROVIDE FREE DRAINING GRANULAR BACKFILL FOR A MINIMUM OF 18" BEHIND RETAINING WALL
- PROVIDE A MINIMUM 4" DIA. PERFORATED PIPE SURROUNDED IN PEA GRAVEL OR WASHED CLEAN GRAVEL (MINIMUM 9" COVER) AND SLOPED TO A STORM DRAIN SYSTEM OR OTHER APPROPRIATE OUTLET. PERIMETER DRAINS SHOULD BE PROVIDED WITH CLEANOUTS AS NECESSARY TO ALLOW PERIODIC INSPECTION AND MAINTENANCE OF DRAINS



NOTE:  
BACKFILL WALL PRIOR TO INSTALLING FLOOR FRAMING

- BACKFILL WITH MINIMUM 18" FREE DRAINING BACKFILL AND PROVIDE 4" ROUND FOOTING DRAIN
- VERTICAL REINFORCING
- HORIZONTAL REINFORCING
- DOWELS TO MATCH VERTICALS
- (3) #4 BARS MINIMUM
- FOOTING REINFORCEMENT
- 2X6 TREATED SILL PLATE W/ 1/2" DIA. ANCHOR BOLTS @ 24"OC
- SIMPSON A34 @ EACH JOIST
- DECK FRAMING PER PLAN

105 CANTILEVERED RETAINING WALL  
3/4"=1'-0"



NOTE:  
BACKFILL WALL PRIOR TO INSTALLING FLOOR FRAMING, IF IT OCCURS

- BACKFILL WITH MINIMUM 18" FREE DRAINING BACKFILL AND PROVIDE 4" ROUND FOOTING DRAIN
- VERTICAL REINFORCING
- HORIZONTAL REINFORCING
- DOWELS TO MATCH VERTICALS
- (3) #4 BARS MINIMUM
- FOOTING REINFORCEMENT

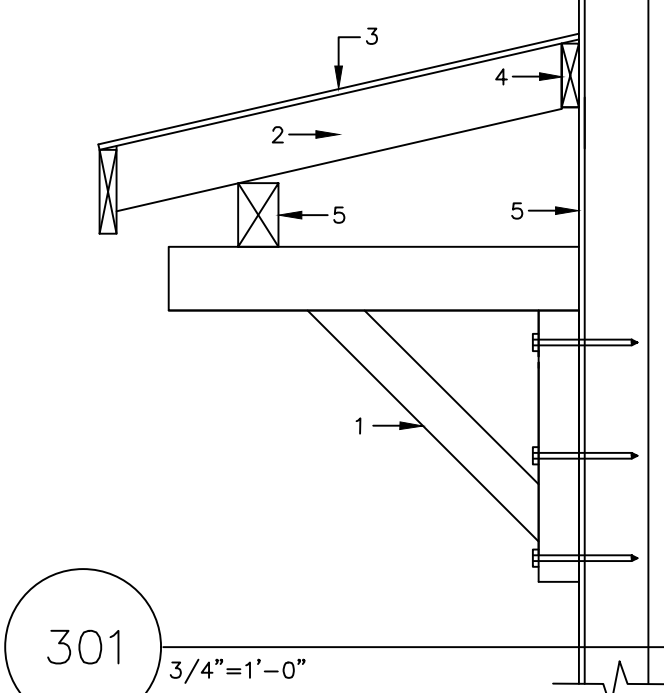
106 CANTILEVERED RETAINING WALL (10/7/20)  
3/4"=1'-0"

**FOOTING SCHEDULE**

MARK	SIZE	DEPTH	REINFORCING	ALLOWABLE LOAD
18	18"x18"	8"	(2) #4 EACH WAY	3375#
24	24"x24"	10"	(3) #4 EACH WAY	6000#
30	30"x30"	10"	(3) #5 EACH WAY	9375#
36	36"x36"	10"	(3) #5 EACH WAY	13500#
42	42"x42"	10"	(3) #5 EACH WAY	18375#
48	48"x48"	12"	(4) #5 EACH WAY	24000#
54	54"x54"	12"	(5) #5 EACH WAY	30375#
60	60"x60"	12"	(5) #5 EACH WAY	37500#
66	66"x66"	12"	(6) #5 EACH WAY	45375#
72	72"x72"	12"	(7) #5 EACH WAY	54000#

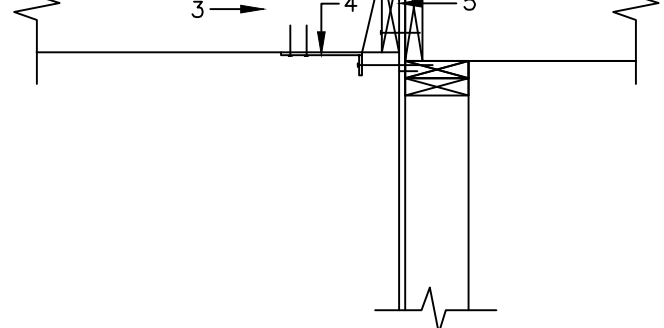
NOTE:  
FOOTING DESIGN IS BASED ON 2500 PSI CONCRETE AND AN ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF

- KNEE BRACE PER PLAN W/ (3) 1/2" DIA LAG SCREWS INTO 4X6 POST
- 2x6 @ 24" OC
- ROOF SHEATHING
- 2x LEDGER W/ 2 - 16d @ 12" O.C.
- BEAM PER PLAN



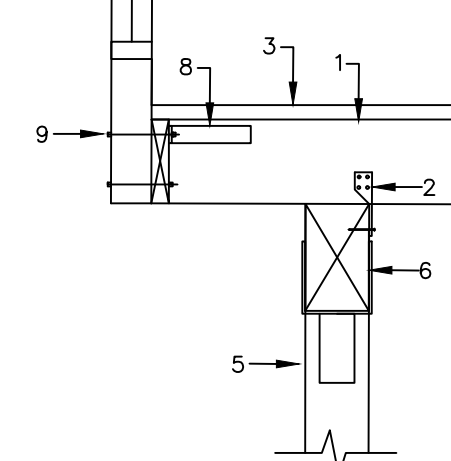
301  
3/4"=1'-0"

- 2x STUD WALL
- EXISTING SHEATHING AND NAILING
- TREATED JOISTS W/ HANGER
- SIMPSON DTTTZ @ 48" OC W/ SDWH SCREW W/ MIN. 3" PENETRATION
- TREATED 2X LEDGER W/ 2 ROWS 1/4" X 3 1/2" SDS SCREWS @ 8" OC STAGGERED



D1  
3/4"=1'-0"

- TREATED JOISTS PER PLAN
- SIMPSON H2.5 @ EACH TRUSS
- DECKING OR SHEATHING PER PLAN
- 4X POST @ 6" OC MAX
- POST AND POST CAP PER PLAN
- BEAM PER PLAN
- 4" MAX SPACING BETWEEN RAILS
- SIMPSON DTTTZ
- 2-3/8" GALV. BOLTS @ EA. POST



D2  
3/4"=1'-0"



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REVISION DATES:  
REV. 3/10/23  
REV. 9/26/23

PROJECT: MAWER/MONTELLIER 3 EDEN LANE, MERCER ISLAND, WA	SHEET TITLE: STRUCTURAL NOTES & DETAILS
SCALE: NO SCALE	DATE: 1-12-22
DRAWN BY: MDT	SHEET NO.
PROJECT NO. MAWER/MONTELLIER	S1